

A. REPORT TO THE HEARING EXAMINER

HEARING DATE: January 10, 2017

Project Name: Cedar Ridge Church Expansion

Owner: Cedar Ridge Church, 11411 SE 164th Street, Renton, WA 98055

Applicant/Contact: Peter Harvard, Gabbert Architects Planners, 20011 Ballinger Way NE, #211, Shoreline, WA 98155

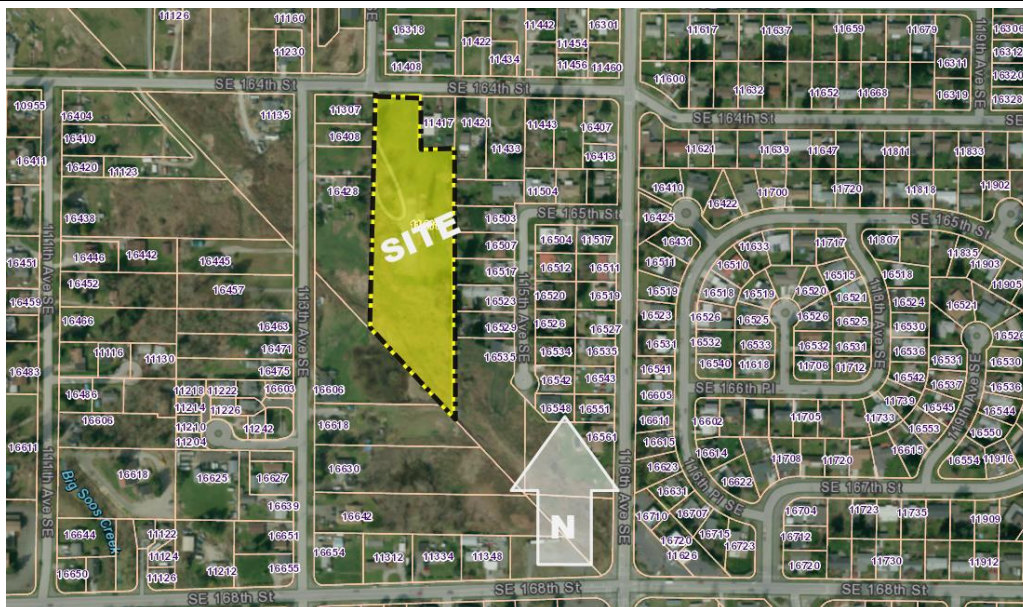
File Number: LUA16-000128, ECF, CU-H, V-A

Project Manager: Jill Ding, Senior Planner

Project Summary: The applicant is requesting Hearing Examiner Conditional Use Permit, Environmental (SEPA) Review, and a Height Variance for a proposed addition to the Cedar Ridge Church. The proposed addition would include a 3,237 square foot basement, 6,210 square foot main floor, and 2,733 square foot balcony for a total area of 12,180 square feet. The proposal would increase the existing total seating capacity within the church to 301. The existing original 2,540 square foot church building would remain and would be converted to classroom and fellowship hall space. The project site totals 168,630 square feet (3.87 acres) and is zoned Residential-8 (R-8). The height of the proposed addition would result in a maximum height of 40'-1". The proposed project includes the addition of 20 parking spaces, resulting in a total of 60 parking spaces on site. Access to the site would remain off of SE 164th Street via one curb cut. A sensitive slope (grade between 25 and 40 percent) and two Category 3 wetlands have been identified on the project site (Wetlands A and B). Wetland A would have a standard buffer of 100 feet and Wetland B would have a standard buffer of 75 feet. Wetland buffer averaging is proposed to accommodate the proposed church expansion. A SEPA Determination of Non-Significance was issued on March 21, 2016.

Project Location: 11411 SE 164th Street

Site Area: 168,630 square feet (3.87 acres)



Project Location Map

B. EXHIBITS:

- Exhibits 1-10: As shown in the SEPA Environmental Review Report
- Exhibit 11: HEX Staff Recommendation
- Exhibit 12: Revised Site Plan, dated received November 17, 2016
- Exhibit 13: Overall Floor Plans, dated received November 17, 2016
- Exhibit 14: Revised Building Elevations, dated received November 17, 2016
- Exhibit 15: Advisory Notes (run December 19, 2016)
- Exhibit 16: Tree Retention Plan
- Exhibit 17: Transportation Concurrency Memo
- Exhibit 18: SEPA Determination of Non-Significance
- Exhibit 19: Photos of other non-residential structures in residential zones

C. GENERAL INFORMATION:

1. **Owner(s) of Record:** Cedar Ridge Church
11411 SE 164th Street
Renton, WA 98055
2. **Zoning Classification:** Residential-8 (R-8)
3. **Comprehensive Plan Land Use Designation:** Residential Medium Density (MD)
4. **Existing Site Use:** Cedar Ridge Church
5. **Critical Areas:** A sensitive slope (grade between 25 and 40 percent) and two Category 3 wetlands have been identified on the project site (Wetlands A and B).
6. **Neighborhood Characteristics:**
 - a. **North:** *Single family residential, R-6 zone*
 - b. **East:** *Single family residential, R-6 zone*
 - c. **South:** *Single family residential, R-8 zone*
 - d. **West:** *Single family residential, R-8 zone*
6. **Site Area:** 3.87 acres

D. HISTORICAL/BACKGROUND:

<u>Action</u>	<u>Land Use File No.</u>	<u>Ordinance No.</u>	<u>Date</u>
Comprehensive Plan	N/A	5758	06/22/2015
Zoning	N/A	5758	06/22/2015
Annexation	N/A	5327	03/01/2008

E. PUBLIC SERVICES:**1. Existing Utilities**

- a. Water: Water service is provided by Soos Creek Water and Sewer District. A water availability certificate was received by the City on February 18, 2016.
- b. Sewer: Sewer service is provided by Soos Creek Water and Sewer District. A sewer availability certificate was received by the City on February 18, 2016.
- c. Surface/Storm Water: There are two Threshold Discharge Areas (TDA) on site. Most of the northeastern portion of the site flows north to the southern frontage of 164th Street NE. This portion of the site is part of the Lower Cedar River drainage basin. The rest of the site flows south and is part of the Soos Creek drainage basin. There is a small northern portion of the site that is part of the Soos Creek drainage basin.

2. **Streets**: The existing right of way along SE 164th Street is approximately 60 feet. The width of the pavement is approximately 40 feet.

3. **Fire Protection**: City of Renton Fire Department

F. APPLICABLE SECTIONS OF THE RENTON MUNICIPAL CODE:**1. Chapter 2 Land Use Districts**

- a. Section 4-2-020: Purpose and Intent of Zoning Districts
- b. Section 4-2-070: Zoning Use Table
- c. Section 4-2-110: Residential Development Standards

2. Chapter 3 Environmental Regulations

- a. Section 4-3-050: Critical Area Regulations

3. Chapter 4 Property Development Standards**4. Chapter 6 Streets and Utility Standards**

- a. Section 4-6-060: Street Standards

5. Chapter 9 Permits - Specific

- a. Section 4-9-030: Conditional Use Permits
- b. Section 4-9-250: Variances, Waivers, Modifications, and Alternates

6. Chapter 11 Definitions**G. APPLICABLE SECTIONS OF THE COMPREHENSIVE PLAN:**

1. Land Use Element

H. FINDINGS OF FACT (FOF):

1. The Planning Division of the City of Renton accepted the above master application for review on February 18, 2016 and determined the application complete on February 25, 2016. The project was placed "on hold" May 5, 2016, pending the submittal of a height variance. An Administrative Variance application was submitted on November 17, 2016 and the application was determined complete on December 5, 2016. The project complies with the 120-day review period.
2. The project site is located at 11411 SE 164th Street.

3. The project site is currently developed with an existing 2,540 square foot church and gravel driveway and gravel parking lot.
4. Access to the site would be provided via existing driveway access off of SE 164th Street.
5. The property is located within the Residential Medium Density (MD) Comprehensive Plan land use designation.
6. The site is located within the Residential-8 (R-8) zoning classification.
7. There are approximately 51 trees located on site of which the applicant is proposing to retain a total of 21 trees.
8. A sensitive slope (grade between 25 and 40 percent) and two Category 3 wetlands have been identified on the project site (Wetlands A and B).
9. The project would require grading and excavation for footings and plantings totaling approximately 70,719 square feet. The project is proposing to balance the cut and fill across the project site.
10. The applicant is proposing to begin construction in Summer of 2017 and end in Fall/Winter 2017.
11. No public or agency comments were received.
12. Pursuant to the City of Renton's Environmental Ordinance and SEPA (RCW 43.21C, 1971 as amended), on March 21, 2016 the Environmental Review Committee issued a Determination of Non-Significance (DNS) for the Cedar Ridge Church Expansion (Exhibit 18). A 14-day appeal period commenced on March 25, 2016 and ended on April 8, 2016. No appeals of the threshold determination were filed.
13. Representatives from various city departments have reviewed the application materials to identify and address issues raised by the proposed development. These comments are contained in the official file, and the essence of the comments has been incorporated into the appropriate sections of this report and the Departmental Recommendation at the end of this report.
14. **Comprehensive Plan Compliance:** The site is designated Residential Medium Density (MD) on the City's Comprehensive Plan Map. The purpose of the MD designation is to allow a variety of single-family and multi-family development types, with continuity created through the application of design guidelines, the organization of roadways, sidewalks, public spaces, and the placement of community gathering places and civic amenities. The proposal is compliant with the following development standards if all conditions of approval are met:

Compliance	Comprehensive Plan Analysis
✓	Goal L-P: Minimize adverse impacts to natural systems, and address impacts of past practice where feasible, through leadership, policy, regulation, and regional coordination.
✓	Goal L-U: Preserve, protect, and enhance the quality and functions of the City's sensitive areas including: lakes, rivers, major and minor creeks, intermittent stream courses and their floodplains, wetlands, ground water resources, wildlife habitats, and areas of seismic and geological hazards.
✓	Policy L-29: Minimize erosion and sedimentation in and near sensitive areas by requiring appropriate construction techniques and resource practices, such as low impact development.
✓	Policy L-30: Protect the integrity of natural drainage systems, existing land forms, and maintain wildlife habitat values by preserving and enhancing existing vegetation and tree canopy coverage to the maximum extent possible and by restoring hydrological

	flows and improving the condition of shorelines.
✓	Policy L-31: Maintain or increase the quantity and quality of wetlands. Development activities shall not decrease the net acreage of existing wetlands.
✓	Policy L-32: Protect buffers along wetlands and surface waters to facilitate infiltration and maintain stable water temperatures, provide for biological diversity, reduce amount and velocity of run-off, and provide for wildlife habitat.
✓	Policy L-33: Emphasize the use of open ponding and detention, vegetated swales, rain gardens, clean roof run-off, right-of-way landscape strips, open space, and stormwater management techniques that mimic natural systems, maximize water quality and infiltration where appropriate, and which will not endanger groundwater quality.
✓	Policy L-35: Ensure buildings, roads, and other features are located on less sensitive portions of a site when sensitive areas are present.
✓	Policy L-37: Land uses in areas subject to flooding, seismic, geologic, and coal mine hazards should be designed to prevent property damage and environmental degradation before, during, and after construction.
✓	Goal L-BB: Maintain a high quality of life as Renton grows by ensuring that new development is designed to be functional and attractive.
✓	Goal L-FF: Strengthen the visual identity of Renton and its Community Planning Areas and neighborhoods through quality design and development.
✓	Policy L-49: Address privacy and quality of life for existing residents by considering scale and context in infill project design.
✓	Policy L-56: Preserve natural landforms, vegetation, distinctive stands of trees, natural slopes, and scenic areas that contribute to the City's identity, preserve property values, and visually define the community and neighborhoods.

15. **Zoning Development Standard Compliance:** The site is classified Residential-8 (R-8) on the City's Zoning Map. Development in the R-8 Zone is intended to create opportunities for new single family residential neighborhoods and to facilitate high-quality infill development that promotes reinvestment in existing single family neighborhoods. It is intended to accommodate uses that are compatible with and support a high-quality residential environment and add to a sense of community. The proposal is compliant with the following development standards if all conditions of approval are met:

Compliance	R-8 Zone Develop Standards and Analysis
N/A	<p>Density: The allowed density range in the R-8 zone is a minimum of 4.0 to a maximum of 8.0 dwelling units per net acre. Net density is calculated after the deduction of sensitive areas, areas intended for public right-of-way, and private access easements.</p> <p><u>Staff Comment:</u> Not applicable, no residential dwelling units are proposed.</p>
✓	<p>Lot Dimensions: The minimum lot size permitted in the R-8 zone is 5,000 sq. ft. A minimum lot width of 50 feet is required (60 feet for corner lots) and a minimum lot depth of 80 feet is required.</p> <p><u>Staff Comment:</u> The existing lot has an area of 469,630 square feet with a width of 200 feet and a depth of 798 feet, which exceeds the minimum lot size, width, and depth requirements of the R-8 zone.</p>

✓	<p>Setbacks: The required setbacks in the R-8 zone are as follows: front yard is 20 feet, side yard is 5 feet, side yard along the street 15 feet, and the rear yard is 20 feet.</p> <p>Staff Comment: <i>The proposed addition area would maintain a front yard setback of 75 feet; side yard setbacks of 55 feet from the east property line and 113 feet from the west property line; and a rear yard setback of 486 feet. The proposed addition would exceed all the minimum required setback areas.</i></p>
Compliant if Variance is Granted (See FOF 19)	<p>Building Standards: The R-8 zone has a maximum building coverage of 50%, a maximum impervious surface coverage of 65%, and a maximum building height of 2 stories with a wall plate height of 24 feet. Roofs with a pitch equal to or greater than 4:12 may project an additional six (6) vertical feet from the maximum wall plate height.</p> <p>Staff Comment: <i>Building elevations (Exhibit 14) were submitted with the project application. The submitted elevations show that the addition area would have 2 stories with a basement, a maximum wall plate height of 24', and a maximum overall height of 40'-1". The proposal would result in a building coverage of 1.9 percent and an impervious surface coverage of 7.5 percent. The proposed expansion would comply with the building and impervious surface coverage requirements for the R-8 zone. The proposed addition would comply with the maximum number of permitted stories and the maximum wall plate height permitted for the R-8 zone, however due to the size of the addition, the proposed addition would exceed the overall maximum permitted building height of 30 feet, by 10'-1", as a result of maintaining a minimum 6:12 pitch roof. The applicant has requested a height variance to exceed the maximum permitted building height, see FOF 19.</i></p>
Compliant if condition of approval is met	<p>Landscaping: The City's landscape regulations (RMC 4-4-070) require a 10-foot landscape strip along all public street frontages. Additional minimum planting strip widths between the curb and sidewalk are established according to the street development standards of RMC 4-6-060. Street trees and, at a minimum, groundcover, are to be located in this area when present. Spacing standards shall be as stipulated by the Department of Community and Economic Development. Any additional undeveloped right-of-way areas shall be landscaped unless otherwise determined by the Administrator.</p> <p>Additional landscaping requirements are applicable to non-residential development in residential zones. A 15-foot wide partially sight-obscuring landscaped visual barrier, or 10-foot wide fully sight-obscuring landscaped visual barrier, is required along common property lines.</p> <p>Stormwater detention ponds are required to provide 15 feet of landscaping around the pond perimeter. Such landscaping shall be located outside of any required fencing.</p> <p>Surface parking lots with between 51 and 99 parking spaces are required to provide 25 square feet of landscaping per parking space. Any interior parking lot landscaping area shall be a minimum of 5 feet in width. Landscaping shall be dispersed throughout the parking area and shall include a mixture of trees, shrubs, and groundcover as follows:</p> <ul style="list-style-type: none"> a. Trees shall be 2 inches in diameter at breast height (dbh) for multi-family, commercial, and industrial uses. At least one tree for every six parking spaces within the lot interior shall be planted. b. Shrubs at the minimum rate of one per 20 square feet of landscaped area shall be

planted. Up to 50 percent of shrubs may be deciduous.

c. Ground cover shall be planted in sufficient quantities to provide at least 90 percent coverage of the landscaped area within three (3) years of installation.

d. There shall be no more than 50 feet between parking stalls and an interior parking lot landscape area.

Staff Comment: A Landscape Concept Plan (Exhibit 7) was submitted with the project application. The landscape plan (Exhibit 7) included a 10-foot onsite landscape strip along the site's SE 164th Street frontage. The 10-foot landscape strip would be vegetated with freeman maple trees and grass. There were no shrubs included in the 10-foot onsite landscape strip. To ensure that the 10-foot onsite landscape strip provides the required mix of trees, shrubs, and ground cover, staff recommends, as a condition of approval, that a detailed landscape plan be submitted at the time of Utility Construction Permit Review including shrubs within the 10-foot onsite landscape strip required along SE 164th Street. The detailed landscape plan shall be submitted to the Current Planning Manager for review and approval. Landscaping shall be installed prior to issuance of a Certificate of Occupancy for the proposed church expansion.

The proposal did not include plans for constructing the required frontage improvements, including the 8-foot landscape strip between the curb and sidewalk, along SE 164th Street and a modification to waive these requirements was not submitted. Staff recommends, as a condition of approval, that the applicant either submit plans to construct the required frontage improvements along SE 164th Street (including the required 8-foot wide landscape strip between the curb and sidewalk) or submit an application for a modification to the required frontage improvements, and receive approval at the time of Utility Construction Permit Review.

The Landscape Concept Plan (Exhibit 7) included a 15-foot wide landscape buffer along the property perimeter. The buffer would consist of the following: vine maple trees, serviceberry trees, Eddie's white wonder dogwood trees, shore pine, Douglas fir, western red cedar, and western hemlock. It is anticipated that the proposed 15-foot vegetated buffer proposed around the project perimeter would adequately screen the church use from the surrounding single family residential uses.

The submitted Landscape Plan (Exhibit 7), did not include the stormwater pond now proposed along SE 164th Street and subsequently did not include the 15-foot wide landscape strip around the pond. Staff recommends as a condition of approval, that the detailed landscape plan include the required 15-foot wide landscape strip around the stormwater detention ponds. The required landscape shall be located on the outside of any required fencing and shall be installed prior to Certificate of Occupancy for the proposed addition.

The applicant has indicated that a total of 60 parking spaces would be available upon the completion of the proposed expansion. Based on a minimum requirement of 25 square feet of landscaping per parking space, a total of 1,500 square feet of landscaping would be required within the surface parking lot. The applicant indicates that a total of 3,752 square feet of surface parking lot landscaping would be installed on the project site. The Landscape Concept Plan includes the following trees: Eddie's white wonder dogwood, vine maple, and pyramidal European hornbeam. The following shrubs are proposed pygmy barberry, large leaf hydrangea, Mexican feathergrass, cold drop potentilla, Mount Vernon laurel, Christmas cheer rhododendron, and spring bouquet laurustinus. The groundcover proposed includes:

	<p>wintergreen, creeping mahonia, and dwarf tall fescue. The original application included a much larger building expansion that was to be constructed under two phases. As such, the parking area provided was much larger than what is proposed under the current proposal. Therefore, staff recommends and a detailed landscape plan and landscape analysis demonstrating compliance with the parking lot landscaping requirements, as outlined in RMC 4-4-070, be submitted at the time of Utility Construction Permit application for review and approval by the Current Planning Project Manager. The required landscaping shall be installed prior to Certificate of Occupancy for the building addition.</p>
<p>Compliant if condition of approval is met</p>	<p>Tree Retention: The City's adopted Tree Retention and Land Clearing Regulations require the retention of 30 percent of trees in a residential development.</p> <p>Significant trees shall be retained in the following priority order:</p> <p>Priority One: Landmark trees; significant trees that form a continuous canopy; significant trees on slopes greater than twenty percent (20%); Significant trees adjacent to critical areas and their associated buffers; and Significant trees over sixty feet (60') in height or greater than eighteen inches (18") caliper.</p> <p>Priority Two: Healthy tree groupings whose associated undergrowth can be preserved; other significant native evergreen or deciduous trees; and Other significant non-native trees.</p> <p>Priority Three: Alders and cottonwoods shall be retained when all other trees have been evaluated for retention and are not able to be retained, unless the alders and/ or cottonwoods are used as part of an approved enhancement project within a critical area or its buffer.</p> <p>A minimum tree density shall be maintained on each residentially zoned lot. For detached single family development, the minimum tree density is two (2) significant trees for every five thousand (5,000) square feet. The tree density may consist of existing trees, replacement trees, trees required pursuant to RMC 4-4-070F1, Street Frontage Landscaping Required, or a combination.</p> <p><u>Staff Comment:</u> The applicant submitted a Tree Retention Plan (Exhibit 16) with the project application materials. According to the Tree Retention Plan, a total of 51 trees are located on the project site. Based on a required retention rate of 30 percent, a total of 15 trees would be required to be retained on the project site. Under the previous proposed, which included a much larger two phased expansion, the applicant was proposing to retain a total of 21 trees, which exceeded the minimum tree retention requirements by 6 trees. However, it appears that with the reduced scale of the current expansion proposal, that there may be an opportunity for the retention of additional trees located on the southeast corner of the project site, particularly if the originally proposed stormwater detention pond proposed in this area is reduced in size or eliminated completely. Therefore, staff recommends, as a condition of approval, that a final tree retention plan be submitted at the time of Utility Construction Permit application. The plan shall evaluate whether under the revised expansion proposal any additional trees located on the southeastern corner of the project site are now available for retention.</p>
✓	<p>Parking: Parking regulations require that religious institutions provide a minimum and maximum of 1 space for every 5 seats in the main auditorium; however, in no case shall there be less than 10 spaces. For all existing institutions enlarging the seating capacity of their auditoriums, 1 additional parking space shall be provided for every 5</p>

	<p>additional seats provided by the new construction. A minimum of 3 ADA spaces shall be provided for parking lots with between 51 and 75 spaces. The standard stall dimensions for 90 degree head in parking is 9 feet by 20 feet with a 24-foot wide aisle width.</p> <p>Driveway cuts are required to be a minimum of 5 feet from property lines and new driveways may be a maximum of 30 feet in width at the property line. Maximum driveway slope shall not exceed eight percent (8%). The Administrator may allow a driveway to exceed eight percent (8%) slope but not more than fifteen percent (15%) slope, upon proper application in writing and for good cause shown, which shall include, but not be limited to, the absence of any reasonable alternative. To exceed fifteen percent (15%), a variance from the Administrator is required.</p> <p><i>Staff Comment: The proposed addition would include a 3,237 square foot basement, 6,210 square foot main floor, and 2,733 square foot balcony for a total area of 12,180 square feet. The proposal would increase the existing total seating capacity within the church to 301. Based on a seating capacity of 301, a minimum and maximum of 60 parking spaces would be required. The proposal includes a total of 60 parking spaces, of which 56 would be standard stalls and 4 would be ADA accessible stalls. The proposed parking would comply with the minimum/maximum stall requirements as well as the minimum dimensional requirements.</i></p>
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16. **Design Standards:** Residential Design and Open Space Standards (RMC 4-2-115) are applicable in the R-8 zone to new residential dwelling units. The proposal does not include any residential dwelling units; therefore the residential design and open space standards are not applicable.
17. **Critical Areas:** Project sites which contain critical areas are required to comply with the Critical Areas Regulations (RMC 4-3-050). The proposal is consistent with the Critical Areas Regulations, if all conditions of approval are complied with:

✓	<p>Geologically Hazardous Areas: Based upon the results of a geotechnical report and/or independent review, conditions of approval for developments may include buffers and/or setbacks from buffers.</p> <p><i>Staff Comment: A Geotechnical Engineering Evaluation, prepared by Nelson Geotechnical Associates, Inc., dated September 25, 2015 (Exhibit 2) was submitted with the project application. A Sensitive Slope is mapped on the southwest portion of the project site. The applicant has indicated that grading would occur across approximately 70,719 square feet of the site and that the cut and fill would be balanced across the project site.</i></p> <p><i>According to the geotechnical report (Exhibit 2), the topography of the project site has a relatively level "bench" area within the central portion of the property. The ground surface slopes down gently to moderately in all directions from the central "bench" area. Moderate south- and southwest-facing slopes are located along the western and southern portions of the property that descend from the existing gravel driveway and parking areas to neighboring properties and wetland areas at an approximate grade of 36 percent. The site is generally vegetated with grass and sparse trees within the proposed development area and with trees and blackberries within the southern and western portions of the property. No surface or groundwater seepage was observed at the time of the site visit on September 4, 2015.</i></p> <p><i>A total of eleven test pits were excavated on the project site with depths ranging from 2.0 to 8.5 feet below the existing ground surface using a mini-trackhoe. In all test pits</i></p>
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0.5 to 1.0 feet of surficial grass and topsoil was encountered. Underlying the topsoil in Test Pits 1, 8, 9, and 11 2.0 to 7.0 feet of loose/stiff brown to red-brown silty fine to medium sand with gravel with varying amounts of gravel, organics and debris and sandy silt with organics that were interpreted as undocumented fill soils, were encountered. Underlying the surficial topsoil in Test Pits 2-7, and 10, and the undocumented fill in Test Pits 1, 8, 9, and 11 dense to very dense, red-brown silty fine to medium sand with fractured sandstone and gray sandstone interpreted to be native sandstone bedrock deposits was encountered. All test pits were terminated within the native and unweathered bedrock deposits. Groundwater was not encountered in any test pits.

The report concludes that the site is compatible with the planned development and the native bedrock soils should provide adequate support for foundation, slab, and pavement loads. The soils are not conducive for typical on-site infiltration due to the relatively high silt content and shallow bedrock deposits interpreted to underlie the project site. Shallow infiltration systems in the form of pervious pavements, bio swales, or rain gardens may be feasible at specific areas within the site. It is recommended that construction take place during the summer months due to the drier weather conditions as construction during wet weather may disturb the soils and result in additional delays and expenses. The report included recommendations regarding erosion control, site preparation and grading, temporary and permanent slopes, foundations, retaining walls, structural fill, slab-on-grade, pavements, utilities, and drainage. It is anticipated that the City's adopted clearing and grading regulations would adequately mitigate any construction impacts to the site.

**Compliant if
condition of
approval is
met**

Wetlands: The following buffer requirements are applicable to wetlands in accordance with RMC 4-3-050G.2:

Wetland Category	Buffer Width				Structure Setback beyond buffer
	High Habitat Function (8-9 points)	Moderate Habitat Function (5-7 points)	Low Habitat Function (3-4 points)	All Other Scores	
Category I – Bogs & Natural Heritage Wetlands	200 ft.				15 ft.
Category I – All Others	200 ft.	150 ft.	115 ft.	115 ft.	
Category II	175 ft.	150 ft.	100 ft.	n/a	
Category III	125 ft.	100 ft.	75 ft.	n/a	
Category IV	50 ft.			n/a	

Staff Comment: The applicant submitted a Critical Areas Study and wetland

	<p>delineation prepared by ACRE Environmental Consulting, LLC, dated January 1, 2016 with the application (Exhibit 3). Two Category III wetlands (Wetlands A and B) were identified on or near the project site. Wetland A is the larger of the two wetlands and is located within a transmission line easement on the southern portion of the project site and extends off-site to the south. Wetland B is smaller in area than Wetland A and is located offsite to the west, within the transmission line easement near the southern portion of the project site. Wetland A was identified as having a habitat value of 5 points and would have a standard buffer requirement of 100 feet. Wetland B was identified as having a habitat value of 4 points and would have a standard buffer requirement of 75 feet.</p> <p>There are existing physical improvements in the form of maintained lawn and gravel parking in and adjacent to the outer portion of the wetland buffer areas. The majority of the on-site buffer areas is located beneath an overhead transmission line easement and is dominated by Himalayan blackberry.</p> <p>Wetland buffer averaging is proposed to accommodate the expansion of the parking lot, the stormwater detention pond, and landscaping. The northern buffer around Wetland A is proposed to be reduced from 100 feet to 75 feet and the northeastern buffer around Wetland B is proposed to be reduced from 75 feet to 57 feet. The City's adopted Critical Areas Regulations (RMC 4-3-050) include requirements for wetland buffer averaging and buffer reduction with enhancement. Since the original submittal of the project application, the applicant has reduced the size and scope of the proposed church expansion. It appears that there is adequate area outside of the required buffer areas to accommodate the parking and stormwater improvements required for the expansion. Therefore, staff recommends, as a condition of approval, that a revised site plan be submitted at the time of Utility Construction Permit application demonstrating compliance with the standard wetland buffer requirements for Wetlands A and B. The revised site plan shall be submitted to the Current Planning Project Manager for review and approval.</p> <p>Onsite wetlands and their associated buffer areas are required to be protected within a Native Growth Protection Easement. Staff recommends, as a condition of approval, that the applicant record a Native Growth Protection Easement (NGPE) over onsite wetland and/or wetland buffer areas. The easement shall be recorded prior to the issuance of a Certificate of Occupancy for the proposed addition.</p>
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18. **Conditional Use Analysis:** The applicant is requesting a Conditional Use Permit for the proposed 12,180 square foot addition to the existing church building. The existing church is proposed to remain as part of the proposal and would be remodeled to accommodate the proposed addition. The proposal is compliant with the following conditional use criteria, pursuant to RMC 4-9-030. Therefore, staff recommends approval of the requested Conditional Use Permit.

Compliance	Conditional Use Criteria and Analysis
✓	<p>a. Consistency with Plans and Regulations: The proposed use shall be compatible with the general goals, objectives, policies and standards of the Comprehensive Plan, the zoning regulations and any other plans, programs, maps or ordinances of the City of Renton.</p> <p><i>Staff Comment: See FOF 14 for Comprehensive Plan and zoning regulation compliance.</i></p>
✓	<p>b. Appropriate Location: The proposed location shall not result in the detrimental overconcentration of a particular use within the City or within the immediate area</p>

	<p>of the proposed use. The proposed location shall be suited for the proposed use.</p> <p><i>Staff Comment: The site is currently occupied by the Cedar Ridge Church, the proposal includes the expansion of an existing use not the establishment of a new use on the project site. The proposed church expansion is located within an existing established single family neighborhood and would not result in an overconcentration of a church use within this part of the City.</i></p>
✓	<p>c. Effect on Adjacent Properties: The proposed use at the proposed location shall not result in substantial or undue adverse effects on adjacent property.</p> <p><i>Staff Comment: As previously stated above, the proposal includes the expansion of an existing use, not the establishment of a new use on the project site. A 15-foot wide partially site obscuring landscape buffer is proposed around the perimeter of the project site to provide a buffer between the church and the surrounding single family residences. In addition to the landscaping improvements, the proposal would include a new surface parking lot to replace the existing gravel parking lot, as well as a new addition to the existing church building. The proposed improvements would improve the aesthetic appearance of the church within the surrounding neighborhood; therefore it is not anticipated that the proposed expansion would result in substantial adverse impacts on adjacent properties.</i></p>
✓	<p>d. Compatibility: The proposed use shall be compatible with the scale and character of the neighborhood.</p> <p><i>Staff Comment: The design of the addition includes a pitched roof profile, which is compatible with the roof profile of other residential structures in the area. The proposed church addition would be two stories with a maximum wall plate height of 24 feet, which is in keeping with the height requirements for residential structures in the neighborhood. The applicant is requesting a height variance to the maximum permitted height of 30 feet for pitched roofs, for a maximum height of 40 feet 1 inch (see variance discussion below under FOF 19). The scale and character of the proposed addition would be compatible with the surrounding neighborhood.</i></p>
✓	<p>e. Parking: Adequate parking is, or will be made, available.</p> <p><i>Staff Comment: See parking discussion under FOF 15.</i></p>
✓	<p>f. Traffic: The use shall ensure safe movement for vehicles and pedestrians and shall mitigate potential effects on the surrounding area.</p> <p><i>Staff Comment: The proposal includes the construction of a surface parking lot, which meets the parking standards as well as the emergency access requirements of the Renton Fire Authority. In addition, a pedestrian sidewalk is proposed, connecting SE 164th Street to the front of the church.</i></p> <p><i>A transportation concurrency review was completed (Exhibit 17) and the proposal passes the City's Transportation Concurrency Test. The proposal includes safe movement for vehicles and pedestrians.</i></p>
✓	<p>g. Noise, Light and Glare: Potential noise, light and glare impacts from the proposed use shall be evaluated and mitigated.</p> <p><i>Staff Comment: The proposed addition, which would house the church sanctuary, would provide better sound containment than the existing structure, due to improvements made in construction materials from the time the original church building was built. Additional noise and light and glare impacts would be mitigated through the planting of</i></p>

	<i>the proposed 15-foot wide landscape buffer around the perimeter of the property. In addition, the proposed addition has been oriented to shield neighboring residential structures from any noise, light and glare that may be associated with the church use.</i>
✓	<p>h. Landscaping: Landscaping shall be provided in all areas not occupied by buildings, paving, or critical areas. Additional landscaping may be required to buffer adjacent properties from potentially adverse effects of the proposed use.</p> <p><u>Staff Comment:</u> See landscaping discussion under FOF 15. The provided landscape buffer would be sufficient to reduce adverse effects of the proposed use on adjacent properties. In addition, both the parking lot and storm drainage pond would be screened by perimeter landscaping.</p>

19. **Variance Analysis:** The applicant is requesting a variance to the overall maximum permitted height of 30 feet in the R-8 zone for the construction of the proposed church addition. The proposed addition would have a maximum height of 40 feet 1 inch. The proposal is compliant with the following variance criteria, pursuant to RMC 4-9-250. Therefore, staff recommends approval of the requested Variance.

Compliance	Variance Criteria and Analysis
✓	<p>a. That the applicant suffers practical difficulties and unnecessary hardship and the variance is necessary because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings of the subject property, and the strict application of the Zoning Code is found to deprive subject property owner of rights and privileges enjoyed by other property owners in the vicinity and under identical zone classification.</p> <p><u>Staff Comment:</u> The applicant suffers practical difficulties with regards to compliance with the over 30-foot maximum height requirements. As previously discussed above under FOF 15, Building standards, the submitted elevations show that the addition area would have 2 stories with a basement, a maximum wall plate height of 24', and a maximum overall height of 40'-1". The proposed addition would comply with the maximum number of permitted stories and the maximum wall plate height permitted for the R-8 zone, however due to the size of the addition, the proposed addition would exceed the overall maximum permitted building height of 30 feet, by 10'-1" due to the 6:12 roof pitch. The maximum building height requirements for the R-8 zone were intended to establish height limits for single family residences. A church use has a much larger building footprint than a typical single family residence; therefore it is much more difficult for a church to comply with the overall maximum height requirement of 30 feet and maintain a residential roof pitch of 6:12.</p>
✓	<p>b. That the granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which subject property is situated.</p> <p><u>Staff Comment:</u> The proposed addition is located well outside of the required setback areas for the R-8 zone. The addition would be almost 56 feet away from the homes to the east, 70 feet from the homes to the north, and 113 feet from homes to the west. It is not anticipated that the requested 10 feet 1 inch of additional height would adversely impact the public welfare or be injurious to surrounding properties in the vicinity. Furthermore, permitting the roof pitch to be 6:12 allows the church building architectural character to be in keeping with the architectural style of single family homes in the neighborhood.</p>

✓	<p>c. That approval shall not constitute a grant of special privilege inconsistent with the limitation upon uses of other properties in the vicinity and zone in which the subject property is situated.</p> <p><i>Staff Comment: The granting of this variance would not be considered a special privilege in consistent with other church uses in residential zoning designations. The applicant provided examples of other churches and an elementary school that exceed the maximum 30-foot height limit (Exhibit 19).</i></p>
✓	<p>d. That the approval is a minimum variance that will accomplish the desired purpose.</p> <p><i>Staff Comment: The approval of this variance is the minimum necessary to allow the applicant to construct a two story addition to their church building and provide a 6:12 roof pitch. As previously stated above, the addition would comply with the R-8 zoning requirements for the maximum number of stories, as well as the maximum 24-foot wall plate height. However, due to the size of the proposed addition, the overall maximum 30-foot height limit would be exceeded by 10 feet 1 inch.</i></p>

20. Availability and Impact on Public Services:

Compliance	Availability and Impact on Public Services Analysis
✓	<p>Police and Fire: Police and Fire Prevention staff indicates that sufficient resources exist to furnish services to the proposed development; subject to the condition that the applicant provides Code required improvements and fees. Fire impact fees are applicable at the rate of \$0.36 per square foot. This fee is paid at time of building permit issuance.</p>
Compliant if condition of approval is met	<p>Transportation: The existing right-of-way along SE 164th Street is approximately 60 feet. The width of the pavement is approximately 40 feet. SE 164th Street is classified as a Residential Access street. No right-of-way dedication is required for SE 164th Street.</p> <p>Frontage improvements for SE 164th Street include a 5' sidewalk, 8' landscaping strip, curb and gutter, and ADA ramp. Right-of-way dedication and street frontage improvements are required for building expansions valued over \$50,000.00. The applicant may submit an application to the City requesting a modification of the street frontage improvements as outlined in RMC 4-9-250C.5.d. The applicant did not submit frontage improvement plans or a modification request with the project application. Staff had previously recommended as a condition of approval that the applicant either submit frontage improvement plans or submit and obtain approval of a modification to the City's street standards.</p> <p>A 20' wide paved access may be required per the Fire Department.</p> <p>Per RMC 4-6-060, public street frontages along commercial sites with proposed buildings larger than 5,000 square feet in size are required to conform to the City's street lighting standards. A street lighting plan shall be submitted with the construction permit submittal.</p> <p>A transportation concurrency review was completed (Exhibit 17) and the proposal passes the City's Transportation Concurrency Test.</p> <p>The 2017 transportation impact fee rate for a church is \$2.68 per square foot of building. The transportation impact fee that is current at the time of building permit issuance will be levied.</p>
✓	<p>Storm Water: An adequate drainage system shall be provided for the proper drainage</p>

of all surface water.

Staff Comment: Effective January 1, 2017, the City of Renton will be adopting a new stormwater manual. A draft of the new stormwater manual is available on the City's website. All projects vested after January 1, 2017 will be subject to these new stormwater requirements. Please refer to RMC 4-1-045 for information regarding project vesting. A complete drainage report in accordance with the 2017 City of Renton Surface Water Design Manual is required with the construction permit submittal. All core and special requirements to the City of Renton shall be addressed in the final TIR.

A Preliminary Technical Information Report (TIR) completed by Touma Engineers (Exhibit 4) was submitted with the project application materials. The Preliminary TIR was assembled in accordance with the 2009 King County Surface Water Design Manual as amended by the City of Renton. The site is approximately 2.55 acres in size and contains a church, gravel parking lot and driveway, grass, and trees. The site contains two Threshold Discharge Areas (TDAs) and is located in the City's Flow Control Duration Standard (Forested Conditions). One TDA is tributary to the Lower Cedar River and the other is to Soos Creek.

The original TIR was written to account for a two phase project. Phase 1 of the project was to build a new church building west of the existing church building and a new asphalt parking lot. Phase 2 of the project was to expand and remodel the existing church building. The new site plan has eliminated all of Phase 2, revised the new building design, and altered the parking lot design. The new parking lot is significantly smaller than what was proposed before and includes several grass parking stalls. A new TIR was not submitted with the new site plan. The original TIR proposed a wetvault to meet the northern basin's flow control and water quality requirements and a wetpond to meet the southern basin's flow control and water quality requirements.

The new site plan proposes two detention ponds to meet the flow control requirements. The final TIR should evaluate whether the southern detention pond is still necessary due to the reduced scope of work. The site is subject to the Enhanced Basic Water Quality treatment standards. The Enhanced Basic Water Quality treatment standards may be reduced to the Basic Water Quality Treatment standards provided that an exception in Section 1.2.8.1 of the 2017 Renton Surface Water Design Manual is met. A wetpond is not a permitted Enhanced Basic Water Quality treatment device.

On-site BMPs satisfying Core Requirement #9 will be required for the site. On-site BMPs shall be implemented as shown in Section C.1.3.2 of the 2017 Renton Surface Water Design Manual.

Locate and display the existing French drain that drains north from the project site to the Type 1 Catch Basin (COR Facility #137670) north of 11417 SE 164th Street on the drainage site plan. Show and explain how you plan to accommodate drainage from this French drain in the construction plans and final TIR.

A Geotechnical Report completed by Nelson Geotechnical Associates and dated September 25, 2015 (Exhibit 2) was submitted to the City on February 18, 2016. Per the geotech report, this site is unsuitable for large scale stormwater infiltration, however pervious pavement, bio-swales, or rain gardens may be feasible in specific areas of the site.

An amendment to the geotechnical report shall be included to evaluate feasibility of the required On-Site BMPs per Section C.1.3.2 of the 2017 Renton Surface Water Design Manual. See Section C.1.3 for the complete soils report requirements.

	<p><i>A Construction Stormwater General Permit from the Washington Department of Ecology will be required if clearing of the site exceeds one acre.</i></p> <p><i>The development is subject to a system development charge (SDC) for stormwater of \$0.641 per square foot of new impervious surface area, but not less than \$1,608.00. The SDC listed is for 2017. The SDC that is current at the time of construction permit issuance will be levied.</i></p>
✓	<p>Water: Water service is provided by Soos Creek Water and Sewer District. A water availability certificate was received by the City on February 18, 2016. Review of the water plans will be conducted by Soos Creek Water and Sewer District and the Renton Fire Authority. Plans approved by Soos Creek Water and Sewer District shall be routed to the City for final review prior to permit issuance</p>
✓	<p>Sanitary Sewer: Sewer service is provided by Soos Creek Water and Sewer District. A sewer availability certificate was received by the City on February 18, 2016. Review of the sewer plans will be conducted by Soos Creek Water and Sewer District and the King County Wastewater Treatment Division. Plans approved by Soos Creek Water and Sewer District shall be routed to the City for final review prior to permit issuance.</p>

I. CONCLUSIONS:

1. The subject site is located in the Residential Medium Density (MD) Comprehensive Plan designation and complies with the goals and policies established with this designation, see FOF 14.
2. The subject site is located in the Residential – 8 (R-8) zoning designation and complies with the zoning and development standards established with this designation provided the applicant complies with City Code and conditions of approval, see FOF 15.
3. The Residential Design and Open Space Standards are not applicable to the proposal, see FOF 16.
4. The proposed church addition complies with the Critical Areas Regulations provided the applicant complies with City Code and conditions of approval, see FOF 17.
5. The proposed church addition complies with the Conditional Use Permit criteria as established by City Code and state law provided all advisory notes and conditions are complied with, see FOF 18.
6. The proposed church addition complies with the Variance criteria as established by City Code and state law provided all advisory notes and conditions are complied with, see FOF 19.
7. The proposed church addition complies with the street standards as established by City Code, provided the project complies with all advisory notes and conditions of approval contained herein, see FOF 20.
8. There are adequate public services and facilities to accommodate the proposed church addition, see FOF 20.

J. RECOMMENDATION:

Staff recommends approval of the Cedar Ridge Church Expansion, File No. LUA16-000128, as depicted in Exhibit 12, subject to the following conditions:

1. A detailed landscape plan shall be submitted at the time of Utility Construction Permit Review including:
 - a. Shrubs within the 10-foot onsite landscape strip required along SE 164th Street;

- b. The required 15-foot wide landscape strip around the stormwater detention ponds. The required landscape shall be located on the outside of any required fencing for the stormwater ponds; and
- c. Shall also demonstrate compliance with the parking lot landscaping requirements outlined under RMC 4-4-070.

The detailed landscape plan shall be submitted to the Current Planning Manager for review and approval. Landscaping shall be installed prior to issuance of a Certificate of Occupancy for the proposed church expansion.

- 2. A landscape analysis demonstrating compliance with the parking lot landscaping requirements, as outlined in RMC 4-4-070, be submitted at the time of Utility Construction Permit application for review and approval by the Current Planning Project Manager.
- 3. The applicant shall either submit plans to construct the required frontage improvements along SE 164th Street (including the required 8-foot wide landscape strip between the curb and sidewalk) or shall submit an application for a modification and receive approval from the required frontage improvements at the time of Utility Construction Permit Review.
- 4. A final tree retention plan shall be submitted at the time of Utility Construction Permit application. The plan shall evaluate whether under the revised expansion proposal any additional trees located on the southeastern corner of the project site are now available for retention. The final tree retention plan shall be reviewed and approved by the Current Planning Project Manager prior to Construction Permit issuance.
- 5. A revised site plan shall be submitted at the time of Utility Construction Permit application demonstrating compliance with the standard wetland buffer requirements for Wetlands A and B. Wetland A was identified as having a standard buffer requirement of 100 feet. Wetland B was identified as having a standard buffer requirement of 75 feet. The revised site plan shall be submitted to the Current Planning Project Manager for review and approval prior to Utility Construction permit issuance.
- 6. The applicant shall record a Native Growth Protection Easement (NGPE) over onsite wetland and/or wetland buffer areas. The easement shall be recorded prior to the issuance of a Certificate of Occupancy for the proposed addition.

ENVIRONMENTAL REVIEW COMMITTEE REPORT

ERC MEETING DATE: March 21, 2016

PART ONE: PROJECT BACKGROUND

Project Name: Cedar Ridge Church Expansion

Project Number: LUA16-000128, ECF, CUP

Project Manager: Jill Ding, Senior Planner

Owner: Cedar Ridge Church, 11411 SE 164th Street, Renton WA 98055

Applicant/Contact: David Pagel, Gabbert Architects Planners, 18422 103rd Avenue, Bothell, WA 98011

Project Location: 11411 SE 164th Street (Parcel No. 008800-0320)

Project Summary: The applicant is requesting Hearing Examiner Conditional Use Permit approval for the proposed addition to the Cedar Ridge Church. The proposed addition would occur in two phases. Phase 1 would include the addition of 8,908 square foot sanctuary to the existing church building and would increase the existing total seating capacity within the church to 301. The existing original 2,540 square foot church building would remain as part of this phase and would be converted to classroom and fellowship hall space. In Phase 2 the existing original 2,540 square foot church building would be demolished and replaced with a 6,879 square foot addition which would include a kitchen, fellowship hall, and additional meeting and classrooms. The project site totals 168,630 square feet (3.87 acres) and is zoned Residential-8 (R-8). The proposed project includes the addition of 55 parking spaces by the end of phase 2, resulting in a total of 95 parking spaces on site. A total of 61 spaces would be available after the completion of phase 1. Access to the site would remain off of SE 164th Street via one curb cut. A sensitive slope (grade between 25 and 40 percent) and two Category 3 wetlands have been identified on the project site (Wetlands A and B). Wetland A would have a standard buffer of 100 feet and Wetland B would have a standard buffer of 75 feet. Wetland buffer averaging is proposed to accommodate the proposed church expansion.

Exist. Bldg. Area SF: 2,540 sf

Proposed New Bldg. Area (phase I): 8,908 sf

Proposed New Bldg. Area (phase II): 6,879 sf

Site Area: 168,630 sf

Total Building Area GSF (phase I & II): 15,787 sf

STAFF RECOMMENDATION: Staff Recommends that the Environmental Review Committee issue a Determination of Non-Significance (DNS).



Project Location Map

Exhibit
1



**NELSON GEOTECHNICAL
ASSOCIATES, INC.**
GEOTECHNICAL ENGINEERS & GEOLOGISTS

Main Office
17311 - 135th Ave NE, A-500
Woodinville, WA 98072
(425) 486-1669 · FAX (425) 481-2510

Engineering-Geology Branch
5526 Industry Lane, #2
East Wenatchee, WA 98802
(509) 665-7696 · FAX (509) 665-7692

September 25, 2015

Mr. Siegfried Schmidt
Cedar Ridge Church of Christ
P.O. Box 5355
Kent, Washington

Geotechnical Engineering Evaluation
Cedar Ridge Church of Christ Expansion
11411 SE 164th Street
Renton, Washington
NGA File No. 933515

RECEIVED
FEB 19 2015
CIVIL ENGINEERING
NATION

Dear Mr. Schmidt:

We are pleased to submit the attached report titled "Geotechnical Engineering Evaluation – Cedar Ridge Church of Christ Expansion – 11411 SE 164th Street – Renton, Washington." The parcel number for the property is 008800-0320. This report summarizes the existing surface and subsurface conditions within the site and provides general recommendations for the proposed site development. Our services were completed in general accordance with our proposal signed by you on August 12, 2015.

The site is currently occupied by an existing church building within the relatively level bench area within the central portion of the site. The ground surface slopes gently to moderately from the higher elevation level bench area within the vicinity of the existing building in all directions. A moderate southwest-facing slope is located within the southern portion of the property with designated wetlands to the south of the toe of the slope. We understand that the proposed development plan consists of expanding the existing building in multiple phases. The first phase of the project consists of constructing a new building north of and adjacent to the existing church structure to serve as the congregation hall. The existing building will remain in its current unaltered configuration until phase two will consist of either replacing or remodeling the current building for administrative offices. A fellowship hall and kitchen on the south end of the existing building will be replaced. New access driveways extending from

**Full Document
Available upon Request**

EXHIBIT 2

**Exhibit
2**



CRITICAL AREAS STUDY FOR

Cedar Ridge Church of Christ

Tax Parcel No. 008800-0320

Acre Project #14032

Prepared By:

Acre Environmental Consulting, LLC.
17715 28th Ave. NE
Lake Forest Park, WA 98155
(206) 450-7746

For:

Cedar Ridge Church of Christ
PO Box 5355
Kent, WA 98064

December 22, 2014
Revision #1: January 21, 2016

**Full Document
Available upon Request**

Exhibit
3

EXHIBIT 3

TIR STORM DRAINAGE REPORT
FOR

CEDAR RIDGE CHURCH
11411 SE 114th STREET
RENTON, WASHINGTON

FILE NO. 1016-001-015

PREPARED BY

TOUMA ENGINEERS
255 SW 41st STREET
RENTON, WA. 98057
(425) 251-0665
February 14, 2016



**Full Document
Available upon Request**

Exhibit
4

EXHIBIT 4

CITY OF RENTON

**CEDAR RIDGE CHURCH EXPANSION TRAFFIC
IMPACT ANALYSIS**

Prepared for:

Mr. Marlin Gabbert AIA, AICP
GABBERT ARCHITECTS PLANNERS
18422 -103rd Ave N.E.
Bothell, WA 98011

Prepared by:

Christopher Faulkner, PE
10827 2nd Ave SW
Seattle, WA 98146
(206) 788-7993



December 22, 2015

Revised:
January 30th, 2016

**Full Document
Available upon Request**

Exhibit
5

EXHIBIT 5



SITE INFORMATION

PARCEL # 028000320
 EXISTING BUILDING 2,540 SQFT
 PHASE 1: NEW SANCTUARY:
 MAIN FLOOR: 6,210 SQFT
 BALCONY: 2,467 SQFT
 PHASE 2: FELLOWSHIP HALL
 DEMO EXISTING BUILDING
 -2,540 SQFT
 TOTAL: 15,556 SQFT

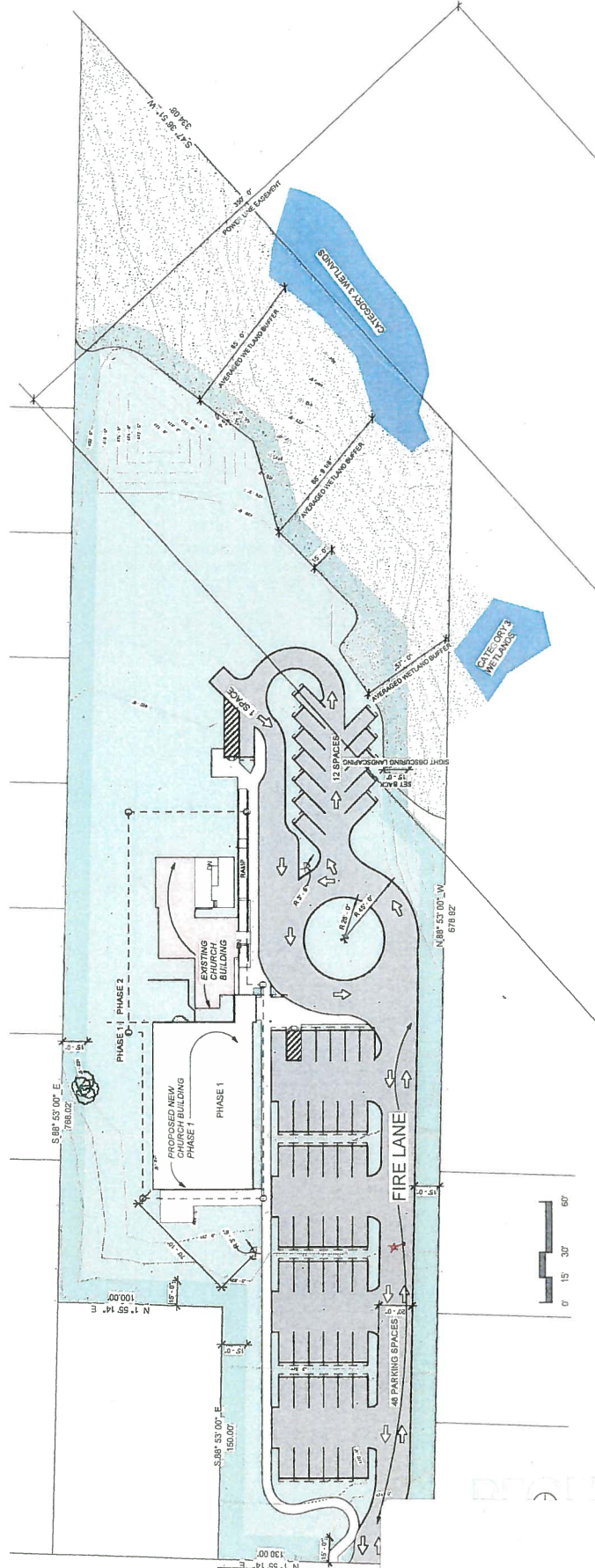
SITE AREA: 168,630 SQFT
 PROPOSED BUILDING FOOTPRINT: ALL PHASES COMPLETED: 13,088 SQFT
 IMPERVIOUS SURFACE: 70,719 SQFT
 PAVEMENT: 45,048 SQFT
 DECK: 1,150 SQFT
 BUILDING: 13,246 SQFT
 INTERIOR PARKING LOT LANDSCAPING: 8,819 SQFT

MAX BUILDING HEIGHT: 30 FT
 PERCENTAGE OF SITE: 7%
 MAX BUILDING COVERAGE: 13%
 PERCENTAGE OF SITE: 42%
 MAX IMPERVIOUS: 73%

GRADE PLANE CALCULATION

A = 482'
 B = 484'
 C = 486'
 D = 488'
 E = 486'
 F = 488'
 NORTH = $(485+482+484)/3 = 484'$
 SOUTH = $(486+488+486)/3 = 488'$
 WEST = $(484+489+489)/3 = 487.33'$
 TOTAL = $1,543.59' \times 485.97' = 485'$

② VACUITY MAP COPY
 1" = 200'-0"



ITE PLAN

Exhibit
6

EXHIBIT 6



③ VICINITY MAP
1" = 200'-0"

SITE INFORMATION

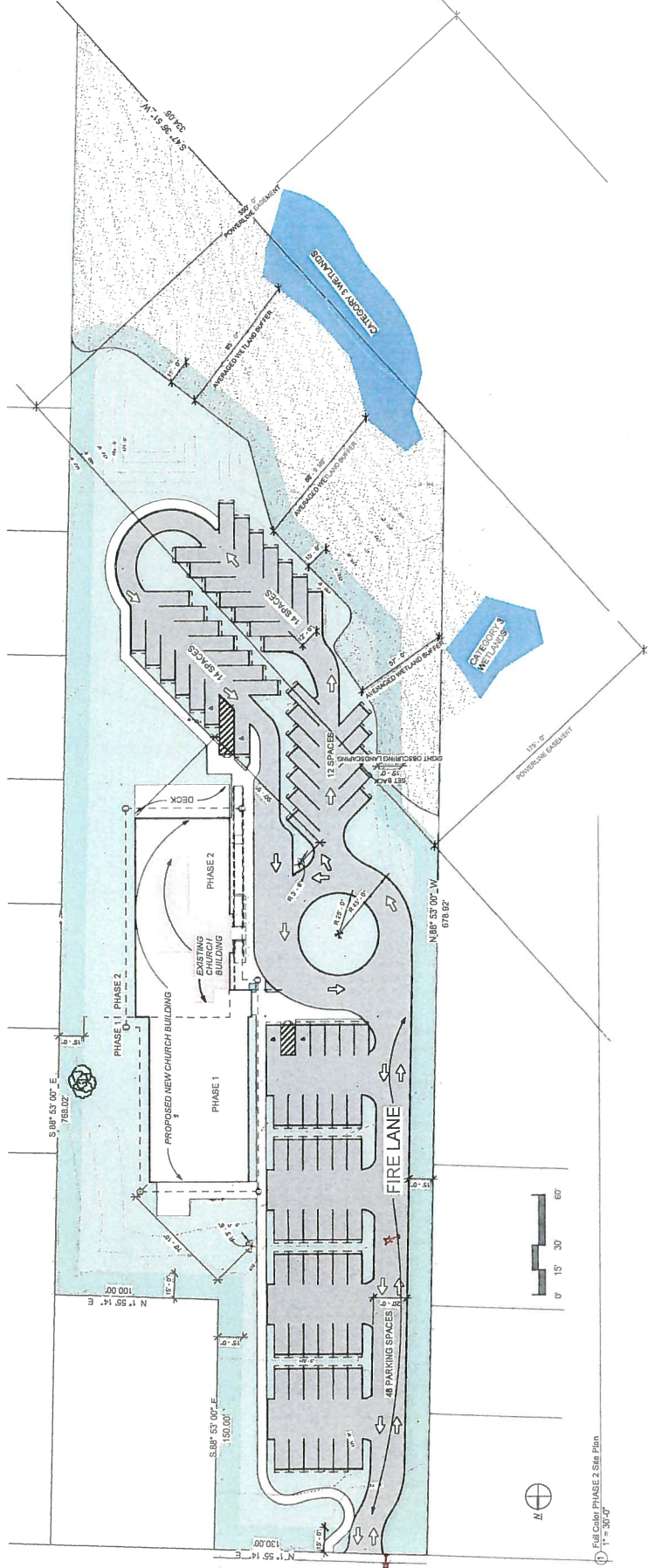
PARCELS &	008800320
EXISTING BUILDING	2,540 SQFT
PHASE 1 NEW SANCTUARY	8,677 SQFT
MAIN FLOOR 5,419 SQFT	
BALCONY 2,487 SQFT	
PHASE 2 BELONGERS HALL	8,979 SQFT
DEMO EXISTING BUILDING	2,540 SQFT
TOTAL	15,566 SQFT

SITE AREA	168,639 SQFT	MAX BUILDING HEIGHT 30 FT
PROPOSED BUILDING FOOTPRINT ALL PHASES COMPLETED	13,095 SQFT	PERCENTAGE OF SITE: 7%
IMPERVIOUS SURFACE	70,719 SQFT	PERCENTAGE OF SITE: 42%
PAVEMENT 49,043 SQFT		
SIDEWALKS 11,280 SQFT		
DECK 1,796 SQFT		
BUILDING 13,246 SQFT		
INTERIOR PARKING LOT LANDSCAPING	9,919 SQFT	

MAX BUILDING COVERAGE 35%
MAX IMPERVIOUS 75%

GRADE PLANE CALCULATION

A = 48'	
B = 48'	
C = 49'	
D = 48'	
E = 48'	
F = 48'	
NORTH = $(485 + 482 + 484) / 3 = 484'$	
EAST = $(482 + 485 + 480) / 3 = 482.33'$	
WEST = $(482 + 480 + 485) / 3 = 482.33'$	
TOTAL = $1,943.97 / 4 = 485.99' = 486'$	



① Full Color Phase 2 Site Plan
1" = 30'-0"

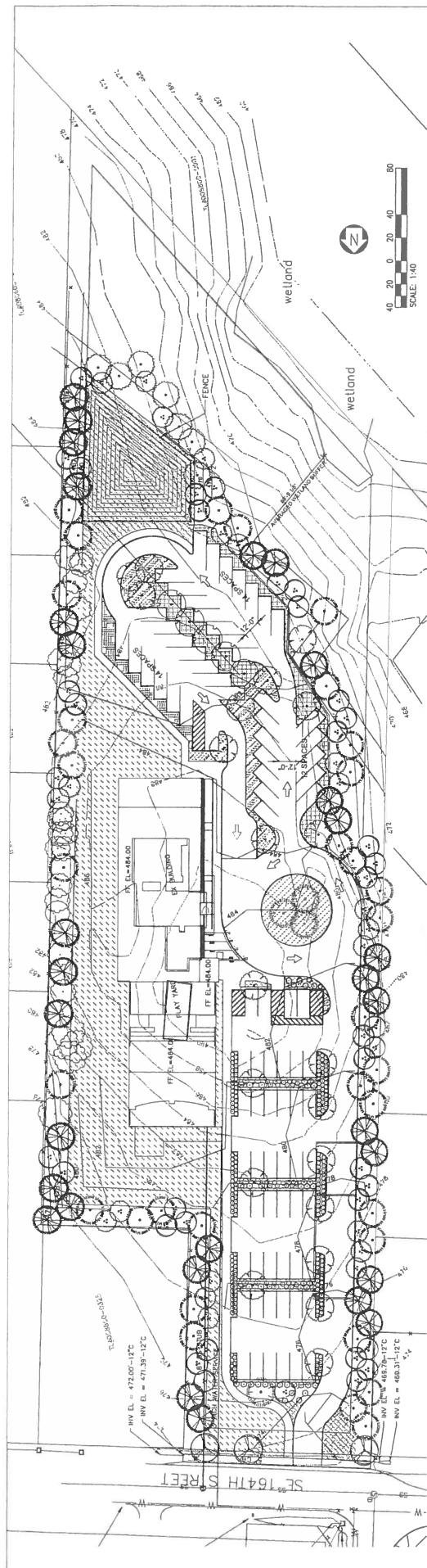
GABBERT Architects
16422 102nd Avenue NE
Bellevue, WA 98004
Phone: (206) 462-7947
Fax: (206) 462-7948
www.gabbertarchitects.com

CEDAR RIDGE CHURCH
16417 164th St NE, Everett, WA 98203

PROJECT NO: 14013
DESIGNER: SCHEIDT-ATC
DRAWN BY: J. B. B. B.
CHECKED BY: J. B. B. B.

SITE PLAN
PHASE II
A1.1

DATE	DESCRIPTION
11/02/13	PLAN REVISIONS

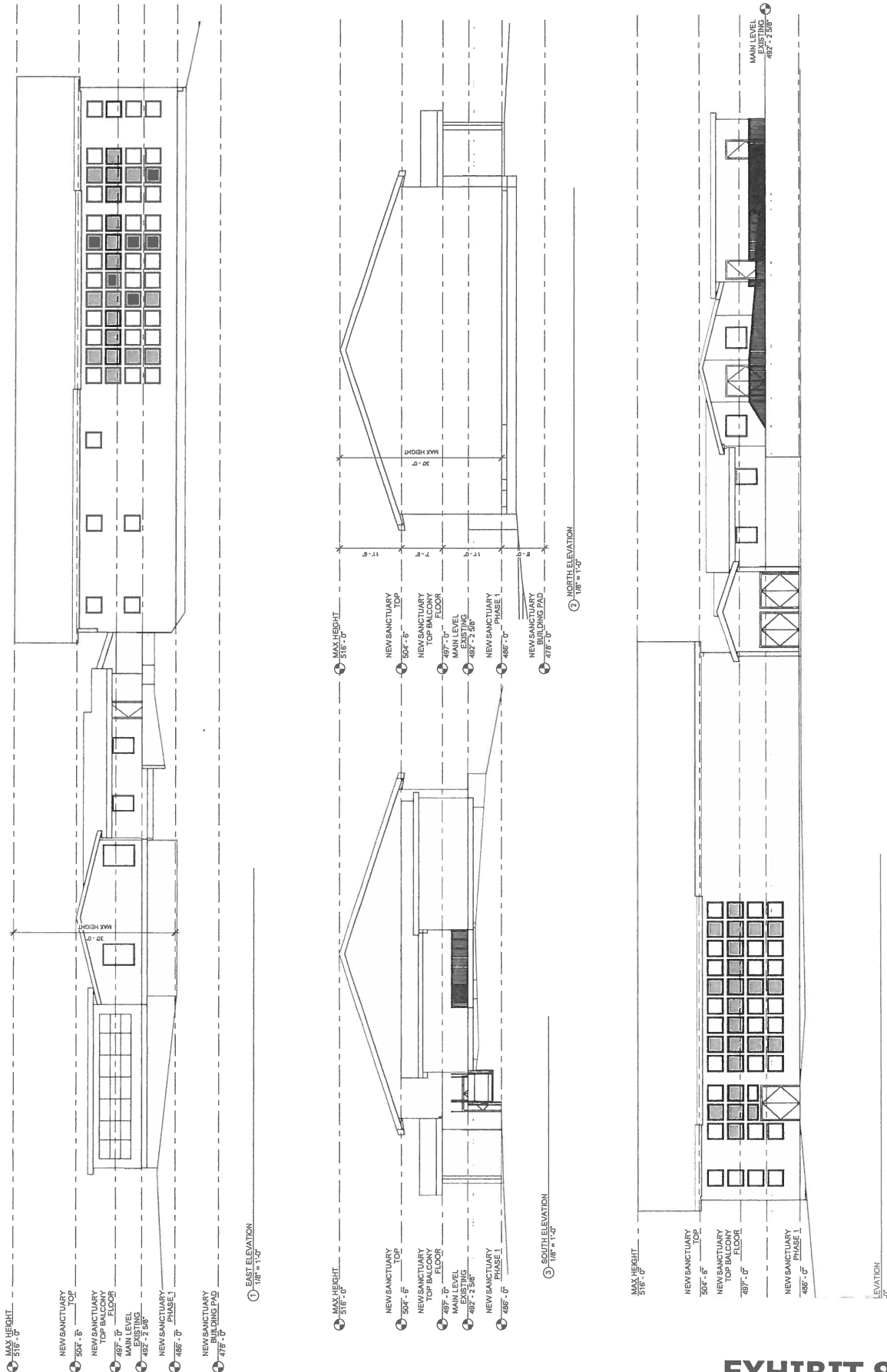


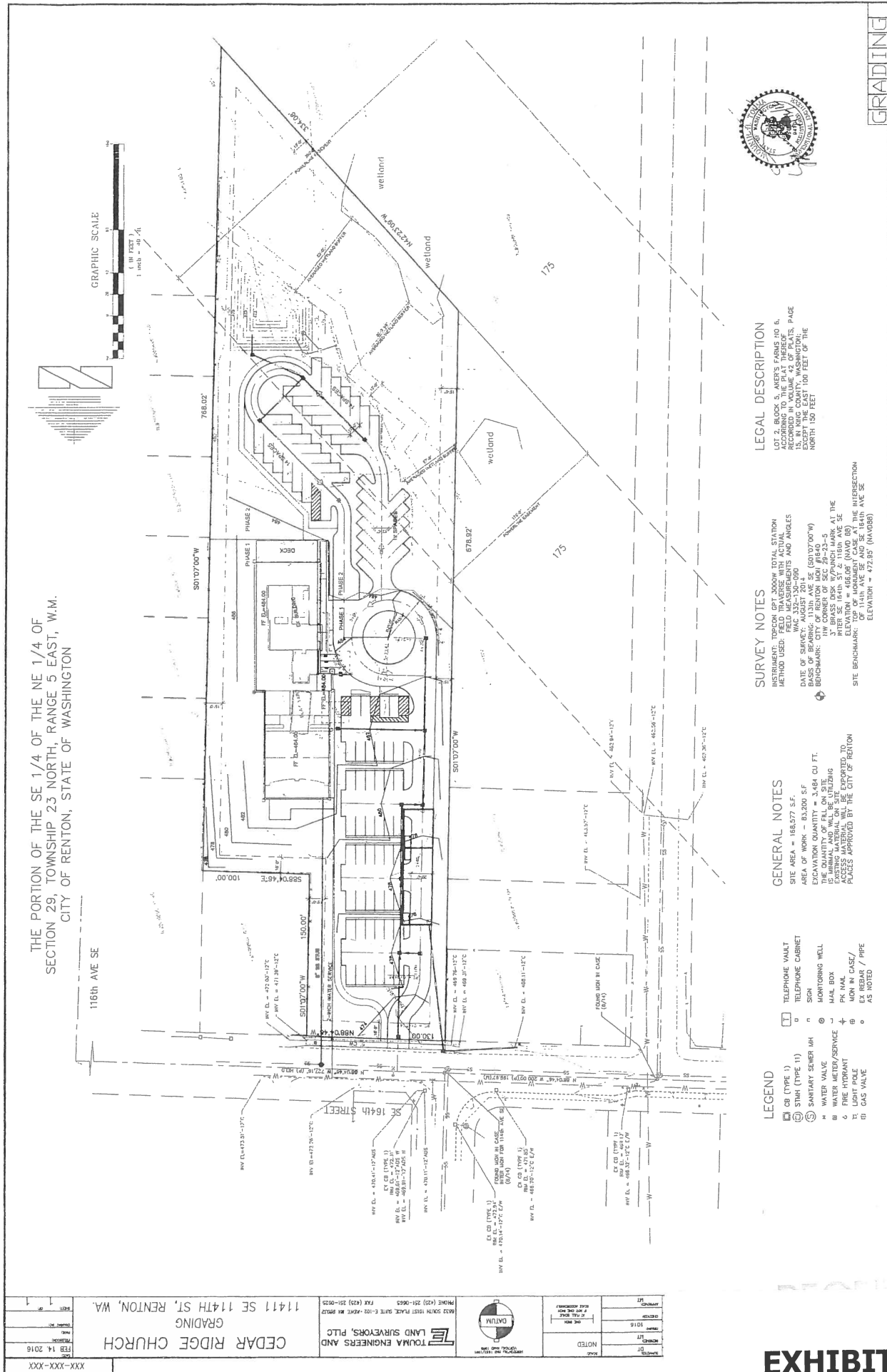
PLANT SCHEDULE

TREES	QUANTITY	SIZE	CONT.	COMMON NAME	COMMON NAME	QUANTITY	COMMON NAME	COMMON NAME	QUANTITY
ACER FREEMANT	5	5'-6" H	5 GAL	ACER FREEMANT	ACER FREEMANT	5	ACER FREEMANT	ACER FREEMANT	5
ACER X FREEMANT	5	5'-6" H	5 GAL	ACER X FREEMANT	ACER X FREEMANT	5	ACER X FREEMANT	ACER X FREEMANT	5
AMALANCHIER	5	4'-5" H	5 GAL	AMALANCHIER	AMALANCHIER	5	AMALANCHIER	AMALANCHIER	5
CARPINUS BETULUS	5	4'-5" H	5 GAL	CARPINUS BETULUS	CARPINUS BETULUS	5	CARPINUS BETULUS	CARPINUS BETULUS	5
CORNUS NUTALLII	5	4'-5" H	5 GAL	CORNUS NUTALLII	CORNUS NUTALLII	5	CORNUS NUTALLII	CORNUS NUTALLII	5
PRUNUS SP.	5	4'-5" H	5 GAL	PRUNUS SP.	PRUNUS SP.	5	PRUNUS SP.	PRUNUS SP.	5
PELAEODENDRA	5	4'-5" H	5 GAL	PELAEODENDRA	PELAEODENDRA	5	PELAEODENDRA	PELAEODENDRA	5
TSUGA PLICATA	5	4'-5" H	5 GAL	TSUGA PLICATA	TSUGA PLICATA	5	TSUGA PLICATA	TSUGA PLICATA	5
TSUGA HETEROPHYLLA	5	4'-5" H	5 GAL	TSUGA HETEROPHYLLA	TSUGA HETEROPHYLLA	5	TSUGA HETEROPHYLLA	TSUGA HETEROPHYLLA	5
SHRUBS	5	4'-5" H	5 GAL	SHRUBS	SHRUBS	5	SHRUBS	SHRUBS	5
BERBERIS THUNBERGII	5	4'-5" H	5 GAL	BERBERIS THUNBERGII	BERBERIS THUNBERGII	5	BERBERIS THUNBERGII	BERBERIS THUNBERGII	5
HYDRANGEA MACROPHYLLA	5	4'-5" H	5 GAL	HYDRANGEA MACROPHYLLA	HYDRANGEA MACROPHYLLA	5	HYDRANGEA MACROPHYLLA	HYDRANGEA MACROPHYLLA	5
HYDRANGEA MACROPHYLLA	5	4'-5" H	5 GAL	HYDRANGEA MACROPHYLLA	HYDRANGEA MACROPHYLLA	5	HYDRANGEA MACROPHYLLA	HYDRANGEA MACROPHYLLA	5
ANISELLA TENEBRARIA	5	4'-5" H	5 GAL	ANISELLA TENEBRARIA	ANISELLA TENEBRARIA	5	ANISELLA TENEBRARIA	ANISELLA TENEBRARIA	5
POTENTIALIA FRUTICOSA	5	4'-5" H	5 GAL	POTENTIALIA FRUTICOSA	POTENTIALIA FRUTICOSA	5	POTENTIALIA FRUTICOSA	POTENTIALIA FRUTICOSA	5
PRUNUS LAUROCESTRUS	5	4'-5" H	5 GAL	PRUNUS LAUROCESTRUS	PRUNUS LAUROCESTRUS	5	PRUNUS LAUROCESTRUS	PRUNUS LAUROCESTRUS	5
RHOIS COLCUTTA	5	4'-5" H	5 GAL	RHOIS COLCUTTA	RHOIS COLCUTTA	5	RHOIS COLCUTTA	RHOIS COLCUTTA	5
YUCCA FILIFOLIA	5	4'-5" H	5 GAL	YUCCA FILIFOLIA	YUCCA FILIFOLIA	5	YUCCA FILIFOLIA	YUCCA FILIFOLIA	5

NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- LANDSCAPE DRAWING IS BASED UPON THE BASE DRAWING DATED 2/18/2016, PREPARED BY GABRIEL ARCHITECTS.
- ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS AND LAYOUT.
- BASE ROOT PLANTS, BULBS, OR TUBERS MAY BE SUBSTITUTED SEASONALLY FOR CONTAINER STOCK WITH PRIOR APPROVAL OF LANDSCAPE ARCHITECT.
- HATCHED PLANTING AREAS ARE DIAGNOSTIC AND INDICATE GENERAL AREAS OF VEGETATION COVER.
- AREA AND QUANTITIES SHOWN ARE FOR REFERENCE PURPOSES ONLY. CONTRACTOR TO CONFIRM QUANTITIES. IN EVENT OF DISCREPANCIES BETWEEN PLAN AND SCHEDULE, PLAN QUANTITIES SHALL PREVAIL.
- CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SOIL AMENDMENTS AND CONDITIONERS IN SOIL PREPARATION AND FINISH GRADING.
- LOCAL NURSERY STOCK WILL BE USED TO ENSURE THAT THE MATERIAL HAS ACCLIMATED TO LOCATION CONDITIONS.
- FINAL PLANT LISTS WILL BE CONTINGENT UPON PLANT AVAILABILITY. IF SELECTED SPECIES ARE UNAVAILABLE FROM LOCAL NURSERIES, THEN UPON PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT, SUPPLEMENTAL MATERIALS WILL BE PROVIDED AS REQUIRED BY RMC 44-009-121. THE PARASITICERS WILL HAVE WATER THE PLANTS AS NEEDED AND DURING TIMES OF WATER SHORTAGE, HOSE BIBS AND QUICK COUPLES WILL BE LOCATED TO FACILITATE ROLLING HOSE REELS. THE LANDSCAPE ARCHITECT WILL PROVIDE A WATERING PLAN AND ANNUAL WATERING.
- ALL PLANT BEDS WILL BE MULCHED WITH A MINIMUM DEPTH OF 3 INCHES OF BARK MULCH UNLESS NOTED. MULCH IS NOT TO MAKE CONTACT WITH THE PLANT STEM.
- IRRIGATION: SUPPLEMENTAL MATERIALS WILL BE PROVIDED AS REQUIRED BY RMC 44-009-121. THE PARASITICERS WILL HAVE WATER THE PLANTS AS NEEDED AND DURING TIMES OF WATER SHORTAGE, HOSE BIBS AND QUICK COUPLES WILL BE LOCATED TO FACILITATE ROLLING HOSE REELS. THE LANDSCAPE ARCHITECT WILL PROVIDE A WATERING PLAN AND ANNUAL WATERING.





THE PORTION OF THE SE 1/4 OF THE NE 1/4 OF
SECTION 29, TOWNSHIP 23 NORTH, RANGE 5 EAST, W.M.
CITY OF RENTON, STATE OF WASHINGTON

XXXX-XXX-XXX

REVISIONS

DATE: FEB 14 2016

PROJECT: CEDAR RIDGE CHURCH

LOCATION: 11411 SE 114TH ST, RENTON, WA.

LAND SURVEYORS, PLLC

PHONE (425) 251-0065 FAX (425) 251-0025

NOTED

DATE: 02/14/2016

BY: [Signature]



LEGAL DESCRIPTION

LOT 2, BLOCK 5, AKER'S FARMS NO. 6,
ACCORDING TO THE PLAT RECORDED
IN THE PUBLIC RECORDS OF THE
COUNTY OF KING COUNTY, WASHINGTON,
PAGE 15, IN KING COUNTY, WASHINGTON;
EAST 150 FEET 100 FEET OF THE
NORTH 150 FEET

SURVEY NOTES

INSTRUMENT: TOPCON GPT 3000W TOTAL STATION
METHOD USED: FIELD MEASUREMENTS AND ANGLES
DATE OF SURVEY: WAC 332-130-090
BASE OF BEARING: 1310 AVE SE (S010700'W)
BENCHMARK: CITY CORNER MARK #10-5
3" BRASS DISK 1/4" PUNCH MARK AT THE
INTERSECTION OF 1310 AVE SE AND
ELEVATION 485.00' (NAD 83)
SITE BENCHMARK: TOP OF MONUMENT CASE AT THE INTERSECTION
OF 1310 AVE SE AND 116TH AVE SE
ELEVATION = 472.85' (NAD83)

GENERAL NOTES

SITE AREA = 168,577 S.F.
AREA OF IMPROVEMENTS = 83,200 S.F.
AREA OF EXISTING IMPROVEMENTS = 85,377 S.F.
THE QUANTITY OF FILL ON SITE
IS MINIMAL AND WILL BE UTILIZING
ACCESS MATERIAL WILL BE EXPORTED TO
PLACES APPROVED BY THE CITY OF RENTON

LEGEND

- CB (TYPE 1)
- STW (TYPE 1)
- SANITARY SEWER MAN
- WATER VALVE
- FIRE HYDRANT
- LIGHT POLE
- GAS VALVE
- TELEPHONE VAULT
- TELEPHONE CABINET
- SIGN
- MONITORING WELL
- MAX BOX
- PK MAIL
- MON IN CASE/
- PIPE
- AS NOTED

GRADING

ADVISORY NOTES TO APPLICANT
LUA16-000128



Application Date: February 18, 2016
Name: Cedar Ridge Church Expansion

Site Address: 11411 SE 164th St
Renton, WA 98055-5213

PLAN - Planning Review - Land Use

Version 1 |

Police Plan Review Comments	Contact: Sandra Whittington 425-430-7519 swhittington@rentonwa.gov
Recommendations: PROJECT LUA16 000128 Cedar Ridge Church Expansion	
City of Renton Department of Planning / Building / Public Works ENVIRONMENTAL & DEVELOPMENTAL APPLICATION REVIEW SHEET	
POLICE RELATED COMMENTS	
84 Police Calls for Service Estimated Annually	
CONSTRUCTION PHASE	
Theft from construction sites is one of the most commonly reported crimes in the City. To protect materials and equipment it is recommended that all materials and tools be locked up when not in use. The site should have security lighting, and any construction or storage trailers should be completely fenced in with portable chain link fencing. The fence will provide both a physical and psychological barrier to any prospective criminal and will demonstrate that the area is private property. Construction trailers should be kept locked when not in use, and should be fitted with heavy duty deadbolts with a minimum 1 1/2" throw when bolted. Any construction material that contains copper should be removed from the construction site at the end of each working day. Glass windows in construction trailers should be shatter resistant. Toolboxes and storage containers should be secured with heavy duty padlocks and kept locked when not in use.	
"No Trespassing" signs should be posted on the property during the construction phase. These signs allow officers, upon contact, to provide a verbal warning to trespassers that should they be contacted on the property again, they could be cited and/or arrested.	
COMPLETED COMPLEX	
All exterior doors should be made of solid metal or metal over wood, with heavy duty deadbolt locks, latch guards or pry resistant cylinders around the locks, and peepholes. All strike plates should have 2 1/2 to 3" wood screws. And any lever handled doorknob located on the outside is discouraged. These are easy to pry/damage to obtain access inside a building. If you have a deadbolt as a secondary lock, levers are fine. Where egress might be an issue, bar releases can be installed to meet Fire Code requirements. This would include any supply, utility or maintenance rooms. If glass doors are used, they should be fitted with the hardware described above and additionally be fitted with a layer of security film. Security film can increase the strength of the glass by up to 300%, greatly reducing the likelihood of breaking glass to gain entry.	
All areas of this project need to have adequate lighting. This will assist in the deterrent of theft from motor vehicle (one of the most common crimes in Renton) as well as provide safe pedestrian travel for both patients and staff.	
It is recommended that the commercial areas be monitored with recorded security alarm systems installed. It's not uncommon for businesses to experience theft and/or vandalism during the hours of darkness. An auxiliary security service could be used to patrol the property during those times. It is important to direct all foot traffic towards the main entrance of the buildings. Any alternative employee entrances should have controlled access doors to prevent trespassing.	
Landscaping should be installed with the objective of allowing visibility – not too dense and not too high. Too much landscaping will make patients and staff feel isolated and will provide criminals with concealment to commit crimes such as burglary, theft, malicious mischief, etc.	
With the expanse of land surrounding this site, there is also the possibility of attracting transients to this area. It's important to keep the dumpster areas located within a housing and locked when not in use.	
I highly recommend that the developer have a Renton Police Crime Prevention Representative conduct a security survey of the premises once construction is complete.	

PLAN - Planning Review - Land Use

Version 1 |

Planning Review Comments

Contact: Jill Ding | 425-430-6598 | jd Ding@rentonwa.gov

Recommendations: 1. RMC section 4 4 030.C.2 limits haul hours between 8:30 am to 3:30 pm, Monday through Friday unless otherwise approved by the Development Services Division.

2. Commercial, multi family, new single family and other nonresidential construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays shall be restricted to the hours between nine o'clock (9:00) a.m. and eight o'clock (8:00) p.m. No work shall be permitted on Sundays.

3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plant an appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current King County Surface Water Management Design Manual as adopted by the City of Renton may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit.

4. A National Permit Discharge Elimination System (NPDES) permit is required when more than one acre is being cleared.

5. The applicant will be required to comply with all the code requirements of RMC 4 3 050 Critical Areas. This includes, but is not limited to, placing the critical area within a Native Growth Protection Easement, providing fencing and signage, and providing the City with a site restoration surety device and, later, a maintenance and monitoring surety device.

6. The applicant may not fill, excavate, stack or store any equipment, dispose of any materials, supplies or fluids, operate any equipment, install impervious surfaces, or compact the earth in any way within the area defined by the drip line of any tree to be retained.

7. The applicant shall erect and maintain six foot (6') high chain link temporary construction fencing around the drip lines of all retained trees, or along the perimeter of a stand of retained trees. Placards shall be placed on fencing every fifty feet (50') indicating the words, "NO TRESPASSING – Protected Trees" or on each side of the fencing if less than fifty feet (50'). Site access to individually protected trees or groups of trees shall be fenced and signed. Individual trees shall be fenced on four (4) sides. In addition, the applicant shall provide supervision whenever equipment or trucks are moving near trees.

8. This permit is shall comply with the Bald and Golden Eagle Protection Act. The permitted is responsible for adhering to the U.S. Fish and Wildlife Service National Bald Eagle Management Guidelines (2007) and /or your U.S. Fish and Wildlife Service permit.

Engineering Review Comments

Contact: Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

Recommendations: I have reviewed the application for the Cedar Ridge Church Expansion located at 11411 SE 164th Street and have the following comments:

EXISTING CONDITIONS

WATER: Water service is provided by Soos Creek Water and Sewer District. A water availability certificate was received by the City on February 18, 2016.

SEWER: Sewer service is provided by Soos Creek Water and Sewer District. A sewer availability certificate was received by the City on February 18, 2016.

STORM: There are two Threshold Discharge Areas (TDA) on site. Most of the northeastern portion of the site flows north to the southern frontage of 164th Street NE. This portion of the site is part of the Lower Cedar River drainage basin. The rest of the site flows south and is part of the Soos Creek drainage basin. There is a small northern portion of the site that is part of the Soos Creek drainage basin. Please see the description below.

The eastern driveway for 11417 SE 164th Street (parcel NE of church parcel), serves at the high point for the drainage along the southern frontage of SE 164th Street. From this high point, a ditch conveys stormwater west, under the western driveway for 11417 SE 164th Street, and then to the corner of SE 164th Street and 113th Avenue SE. Drainage conveyed west from this high point is part of the Soos Creek drainage basin.

Heading east from the high point, stormwater is conveyed by a 12" storm drain with type 1 catch basins. This storm drain conveys the majority of the drainage from the northeastern portion of the site. This drainage is part of the Lower Cedar River drainage basin. The piped conveyance drains to the public storm drain in 116th Avenue NE. At the second type 1 catch basin east of the driveway, COR Facility ID #137670, a private French drain from the south is intercepted. According to the property owner of 11417 SE 164th Street, the French drain runs through his property back to the church. Also according to the owner, the French drain has capacity issues and occasionally results in flooding of his yard and the yard of 11421 SE 164th Street. The City of Renton does not have any formal drainage complaints in this area.

Drainage from the southern portion of the site flows to existing wetlands. This portion of the site is part of the Soos Creek drainage basin.

STREETS: The existing right of way along SE 164th Street is approximately 60 feet. The width of the pavement is approximately 40 feet.

CODE REQUIREMENTS

WATER COMMENTS

PLAN - Planning Review - Land Use

Version 1 |

Engineering Review Comments

Contact: Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

1. Review of the water plans will be conducted by Soos Creek Water and Sewer District and the City of Renton Fire Department.
2. Plans approved by Soos Creek Water and Sewer District shall be routed to the City for final review prior to permit issuance.

SEWER COMMENTS

1. Review of the sewer plans will be conducted by Soos Creek Water and Sewer District and the King County Wastewater Treatment Division.
2. Plans approved by Soos Creek Water and Sewer District shall be routed to the City for final review prior to permit issuance.

STORM DRAINAGE COMMENTS

1. A Preliminary Technical Information Report completed by Touma Engineers was submitted to the City on February 18, 2016. The site is approximately 3.87 acres in size and contains a church and asphalt parking lot. The remainder of the site is covered by grass and trees.
2. The site is in the Flow Control Duration Standard (Forested Conditions) and requires Enhanced Water Quality. The site contains two Threshold Drainage Areas (TDA). One TDA is tributary to the Lower Cedar River and the other is to Soos Creek. The preliminary TIR notes the TDAs as Black River and Soos Creek. Please have the TIR updated to reflect this.
3. The applicant is proposing to develop the property in two phases. The site consists of two separate Threshold Discharge Areas (TDA). Both TDAs require a full drainage review. In phase 1, construction will impact the north basin (Lower Cedar River) and in phase 2, construction will impact the south basin (Soos Creek).
4. The project is proposing a combination detention / wetvault design for each TDA in accordance with the 2009 KCSWDM and the 2010 City of Renton Amendments for Level 2 Flow Control and Basic Water Quality. This site requires Enhanced Water Quality. Thus, a wetvault is not an acceptable water quality option. Please Reference Section 6.1.2 of the City amendments to the 2009 KCSWDM for approved enhanced water quality options.
5. The site will require an on site Flow Control BMP. Please see section 1.2.3.3 of the City amendments to the KCSWDM for the Flow Control BMPs Requirement.
6. Please revise the Level 1 downstream analysis found in Task 3: Field Inspection for the North Basin. The downstream flowpath described does not agree with conditions observed in the field or with the City's mapping of the storm drainage system. Please reference COR maps for more information on storm drainage conveyance pipes and ditches in the project vicinity.
7. Please locate and display the existing French drain that drains north from the project site to the Type 1 Catch Basin (COR Facility #137670) on the drainage site plan. Address how you plan to address this French drain in the updated TIR.
8. A thorough description of the proposed drainage facilities and layout along with all incomplete information from the Core Requirements shall be provided in the final report.
9. A Geotechnical Report completed by Nelson Geotechnical Associates was submitted to the City on February 18, 2016. Per the report, this site is unsuitable for large scale stormwater infiltration. Per the report, pervious pavement, bio swales, or rain gardens may be feasible in specific areas of the site.
10. A Construction Stormwater General Permit from the Washington Department of Ecology will be required since clearing of the site exceeds one acre.
11. The development is subject to a system development charge (SDC) of \$0.0594 per square foot of new impervious surface area, but not less than \$1,485.00.

TRANSPORTATION/STREET COMMENTS

PLAN - Planning Review - Land Use

Version 1 |

Engineering Review Comments	Contact: Ian Fitz-James 425-430-7288 ifitz-james@rentonwa.gov
<ol style="list-style-type: none">1. The current transportation impact fee rate for a church is \$1.70 per square foot. The transportation impact fee that is current at the time of building permit application will be levied. Payment of the transportation impact fee is due at the time of issuance of the building permit.2. SE 164th Street is classified as a Residential Access street. No right of way dedication is required for SE 164th Street.3. Frontage improvements for SEC 164th Street include a 5' sidewalk, 8' landscaping strip, curb and gutter, and ADA ramp.4. The applicant may submit an application to the City requesting a modification of the street frontage improvements as outlined in City code 4 9 250C5d.5. Right of way dedication and street frontage improvements are required for building expansions valued over \$50,000.00.6. The existing access is approximately 10' in paving width. A 20' wide paved access may be required per the Fire Department.7. A Traffic Impact Analysis is required. The analysis is to include the intersection of SE 164th Street and 114th Avenue SE, the location of the existing driveway and 114th Avenue SE to determine if this location is suitable or if it should be moved.8. Paving and trench restoration shall comply with the City's Trench Restoration and Overlay requirements.	
GENERAL COMMENTS	
<ol style="list-style-type: none">1. The SDCs listed are for 2016. The fees that are current at the time of the building permit application will be levied. Please see the City of Renton website for the current SDCs.2. The survey and all civil plans shall conform to the current City of Renton survey and drafting standards. Current drafting standards can be found on the City of Renton website.3. A final survey that is stamped and signed by the professional land surveyor of record will need to be provided. All existing utilities need to be surveyed and shown. Please reference COR Maps for mapping and records of existing utilities in the project vicinity.4. Separate plan submittals will be required for construction permits for utility work and street improvements. All plans shall be prepared by a licensed Civil Engineer in the State of Washington.5. Separate permits and fees for side sewers and water services shall be obtained by the Soos Creek Water and Sewer District.6. Rockeries or retaining walls greater than 4 feet in height will require a separate building permit. Structural calculations and plans prepared by a licensed engineer will be required.7. A final tree removal/retention plan and landscape plan shall be included with the civil plan submittal.8. When utility plans are complete, please submit four (4) copies of the plans, two (2) copies of the drainage report, an electronic copy of each, the permit application, an itemized cost of construction estimate, and application fee to the counter of the sixth floor.	

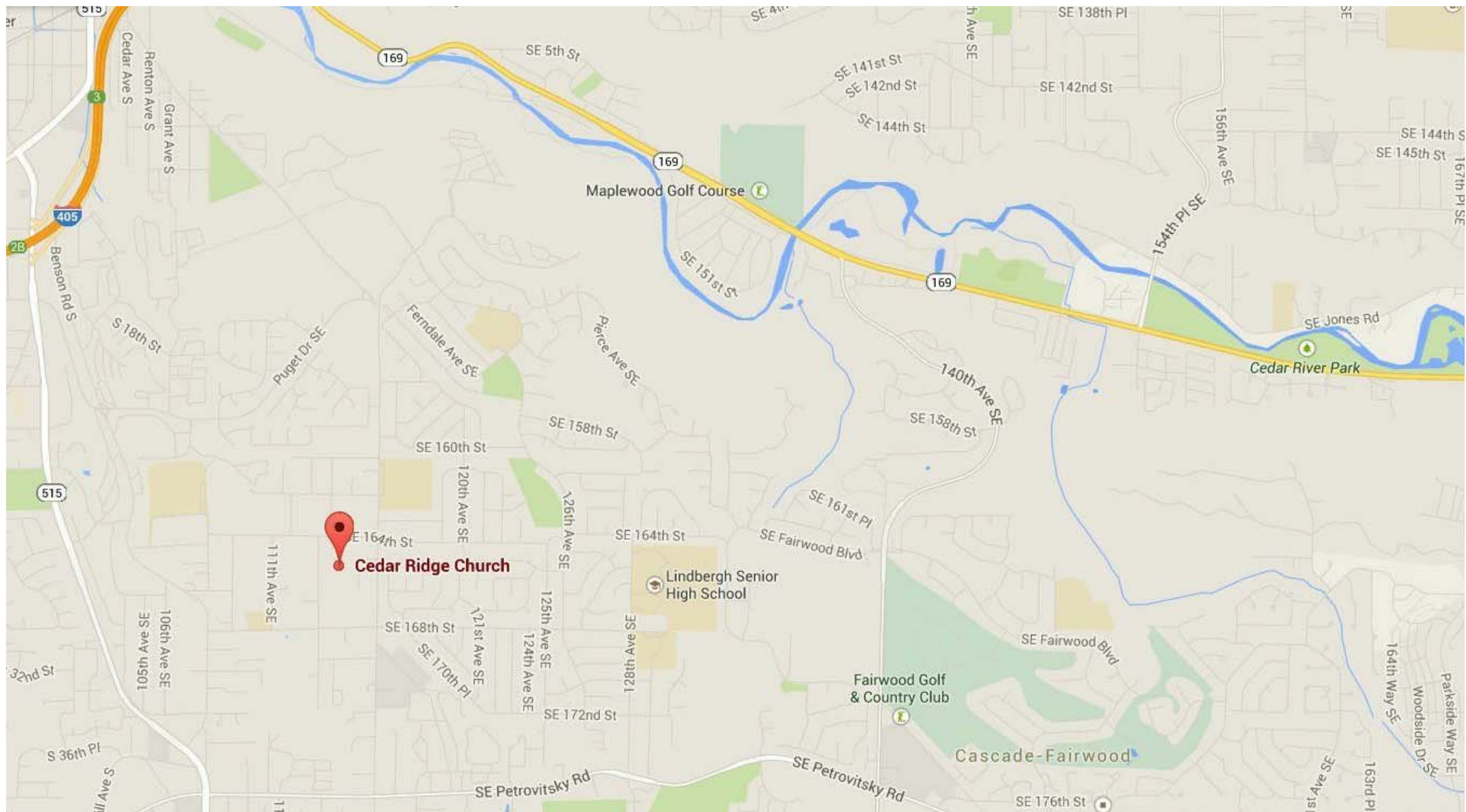
Technical Services Comments	Contact: Amanda Askren 425-430-7369 aaskren@rentonwa.gov
Recommendations: Topographic and Boundary survey show encroachments from Parcel 0088000325 aka 11417 SE 164th Street. What is the plan to resolve the encroachments as shown?	

Fire Review - Building Comments	Contact: Corey Thomas 425-430-7024 cthomas@rentonwa.gov
Recommendations: Environmental Impact Comments:	
<ol style="list-style-type: none">1. Fire impact fees are applicable at the rate of \$0.25 per square foot of commercial space. This fee is paid at time of building permit issuance.	
Code Related Comments:	
<ol style="list-style-type: none">1. The preliminary fire flow is 1,750 gpm based on a fully fire sprinklered building. A minimum of one hydrant is required within 150 feet	

PLAN - Planning Review - Land Use

Version 1 |

Fire Review - Building Comments	Contact: Corey Thomas 425-430-7024 cthomas@rentonwa.gov
<p>of the structure and one additional hydrant is required within 300 feet of the structure. One hydrant also is required within 50 feet of the fire department fire sprinkler connection. There appears to be one existing hydrant within 300 feet of the proposed building. An on site water main extension is required to provide adequate fire flow, one new hydrant and an adequately sized main to supply the required fire sprinkler system. An updated water availability certificate is required from Soos Creek Water and Sewer District that can demonstrate that 1,750 gpm is available at this location.</p> <p>2. Approved fire sprinkler and fire alarm systems are required throughout the building. Separate plans and permits required by the fire department. Direct outside access is required to the fire sprinkler riser room. Fully addressable and full detection is required for the fire alarm system. The use of a voice type fire alarm system would be required for full time private school occupancy.</p> <p>3. Fire department apparatus access roadways are required within 150 feet of all points on the building. Fire lane signage required for the on site roadway. Required turning radius are 25 feet inside and 45 feet outside. Roadways shall be a minimum of 20 feet wide. Roadways shall be fully paved and support a minimum of a 30 ton vehicle and 75 psi point loading.</p> <p>4. An electronic site plan is required prior to occupancy for pre fire planning purposes.</p> <p>5. An annual place of assembly permit is required through the fire department.</p> <p>6. An automated external defibrillator is required if the final occupant load is over 300 persons.</p> <p>7. Separate plans and permits shall be submitted to the Renton Fire Department for kitchen hood fire suppression systems.</p>	



② VICINITY MAP COPY
1" = 200'-0"

SITE INFORMATION

PARCELL NUMBER: 0088000320
ZONE: R-8

MINIMUM LOT SIZE PER RMC4-2-110A: 5,000 SQFT
ACTUAL LOT SIZE: 469,630 SQFT
MINIMUM LOT WIDTH PER RMC4-2-110A: 50 FT
ACTUAL LOT WIDTH: 230'-2"
MINIMUM LOT DEPTH PER RMC4-2-110A: 80 FT
ACTUAL LOT DEPTH: 798'-5"
MINIMUM FRONT YARD PER RMC4-2-110A: 20 FT
ACTUAL FRONT YARD: 221'-3"
MINIMUM REAR YARD PER RMC4-2-110A: 20 FT
ACTUAL REAR YARD: 486'-9"
MINIMUM SIDE YARD PER RMC4-2-110A: 5 FT
ACTUAL SIDE YARD (NORTH): 69'-4"
ACTUAL SIDE YARD (EAST): 55'-10"
ACTUAL SIDE YARD (WEST): 113'-2"

IMPERVIOUS SURFACE

MAXIMUM IMPERVIOUS SURFACE AREA PER RMC4-2-110A: 65%
ACTUAL IMPERVIOUS SURFACE: 7.5%

IMPERVIOUS SURFACE: 35,417 SQFT
PAVEMENT: 26,551 SQFT
ROADS: 22,005
SIDEWALKS: 4,156
PORCH: 390
BUILDING FOOTPRINT: 8,866 SQFT

BUILDING INFORMATION

EXISTING BUILDING FOOTPRINT: 2,656 SQFT
NEW SANCTUARY FOOTPRINT: 6,210 SQFT
TOTAL BUILDING FOOTPRINT: 8,866 SQFT

MAIN FLOOR: 6,210 SQFT
BALCONY: 2,733 SQFT
BASEMENT: 3,237 SQFT
TOTAL: 12,180 SQ FT

MAXIMUM BUILDING COVERAGE PER RMC4-2-110A: 50%
ACTUAL BUILDING COVERAGE: 1.9%

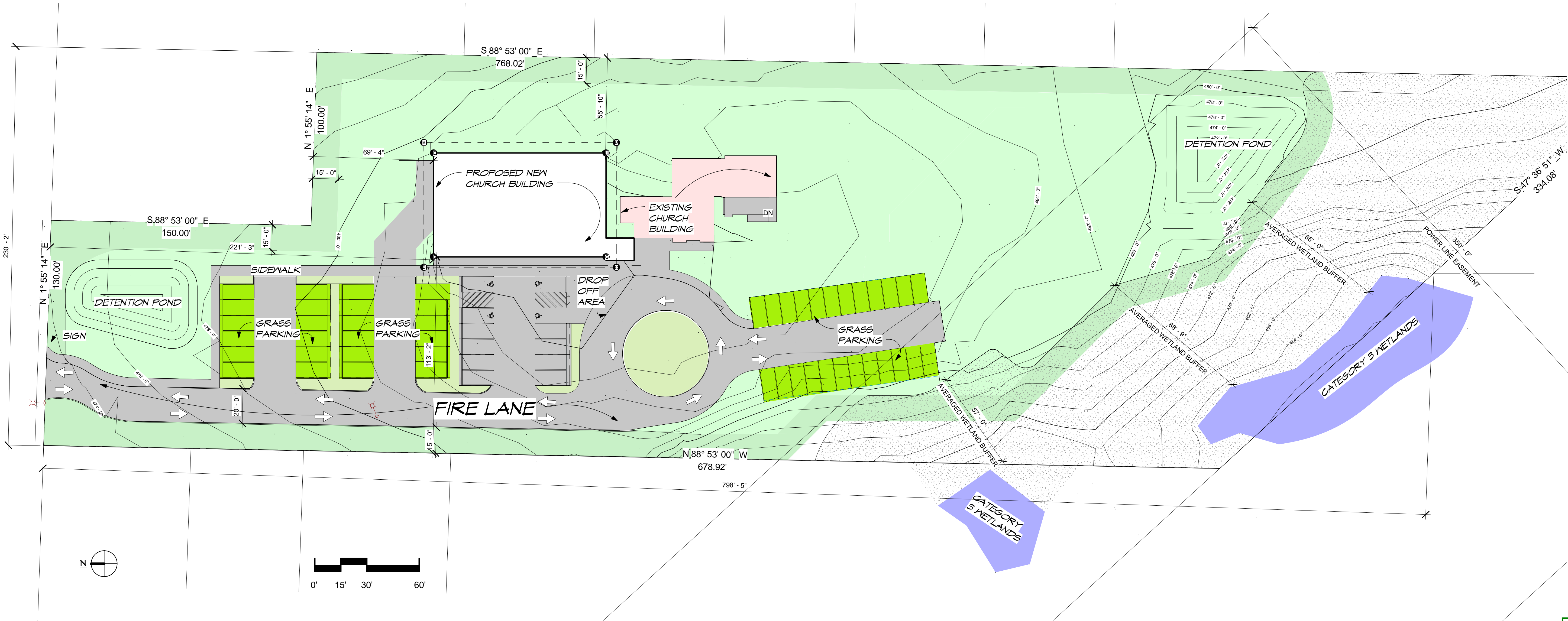
BUILDING COVERAGE:
EXISTING BUILDING FOOTPRINT: 2,656 SQFT
NEW SANCTUARY FOOTPRINT: +6,210 SQFT
TOTAL FOOTPRINT: 8,866 SQFT
SITE AREA: 469,630 SQFT
PERCENTAGE OF SITE: 1.9%

MAXIMUM NUMBER OF STORIES PER RMC4-2-110A: 2
ACTUAL NUMBER OF STORIES: 2
MAX WALL PLATE HEIGHT PER RMC4-2-110A: 24'-0"
ACTUAL WALL PLATE HEIGHT: 24'-0"

PARKING INFORMATION

ADA STALLS: 4
STANDARD STALLS: 56
TOTAL: 60

PARKING LOT LANDSCAPING: 3,752 SQFT
GRASS PARKING: 8,126 SQFT



① SITE PLAN
1" = 30'-0"

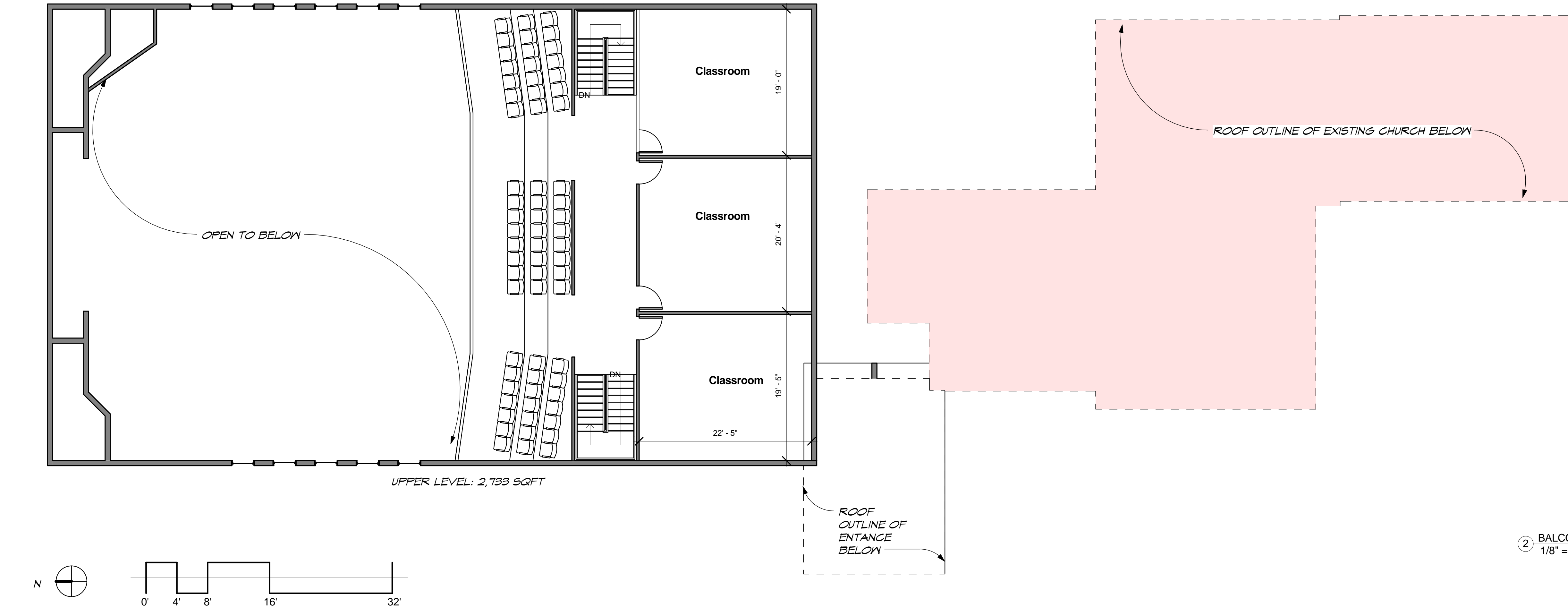
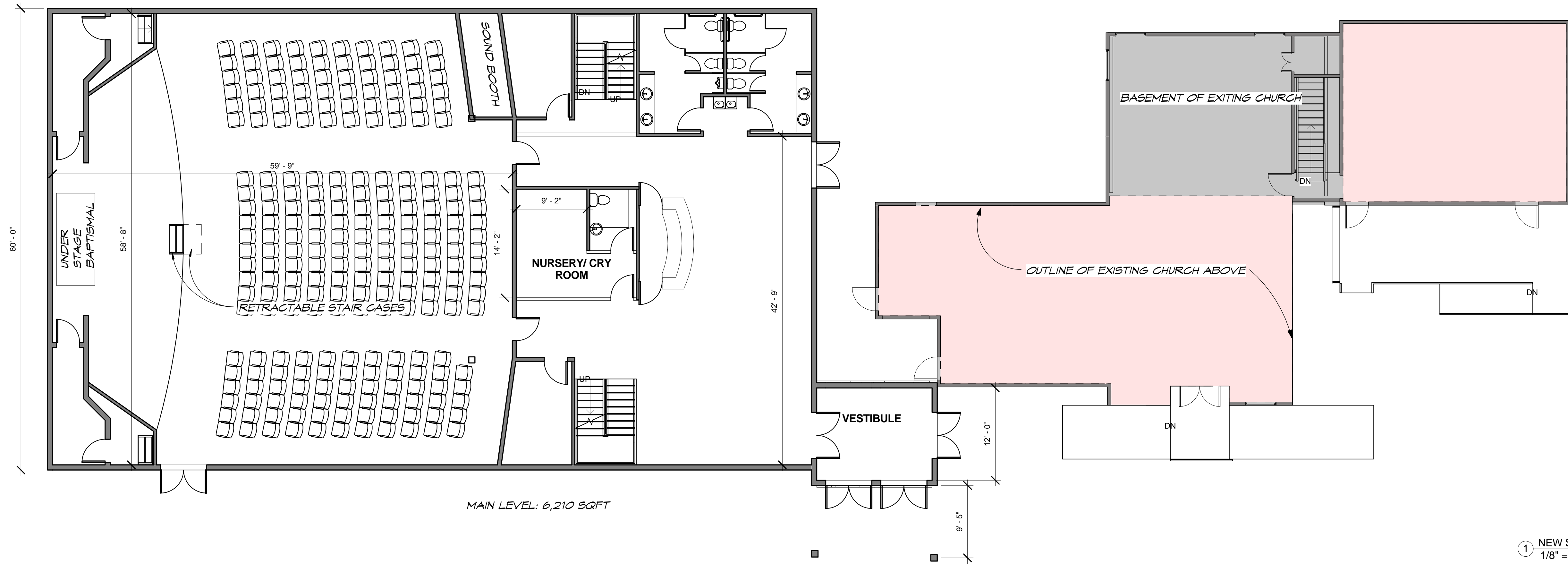
CEDAR RIDGE CHURCH
11411 SE 164TH ST, RENTON, WA 98055
CEDAR RIDGE CHURCH

GABBERT
Architects Planners

20011 Ballinger Way NE
Office #211
Shoreline, WA 98155
E: Marlin.G@gabbertarchitects.com
T: 206.367.3600

14013
SD
DRAWN BY: Author
DATE: Issue Date
SITE PLAN

A1.0



1 NEW SANCTUARY
1/8" = 1'-0"

Exhibit
13

14013 11/17/2016 9:08:25 AM Author

SD
DRAWN BY: Author
DATE: Issue Date

OVERALL
FLOOR
PLANS
A2.0

20011 Ballinger Way NE
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CEDAR RIDGE CHURCH
11411 SE 164TH ST RENTON, WA 98055
CEDAR RIDGE CHURCH

Revision Schedule	
Revision Number	Revision Description
Revision Number	Revision Date

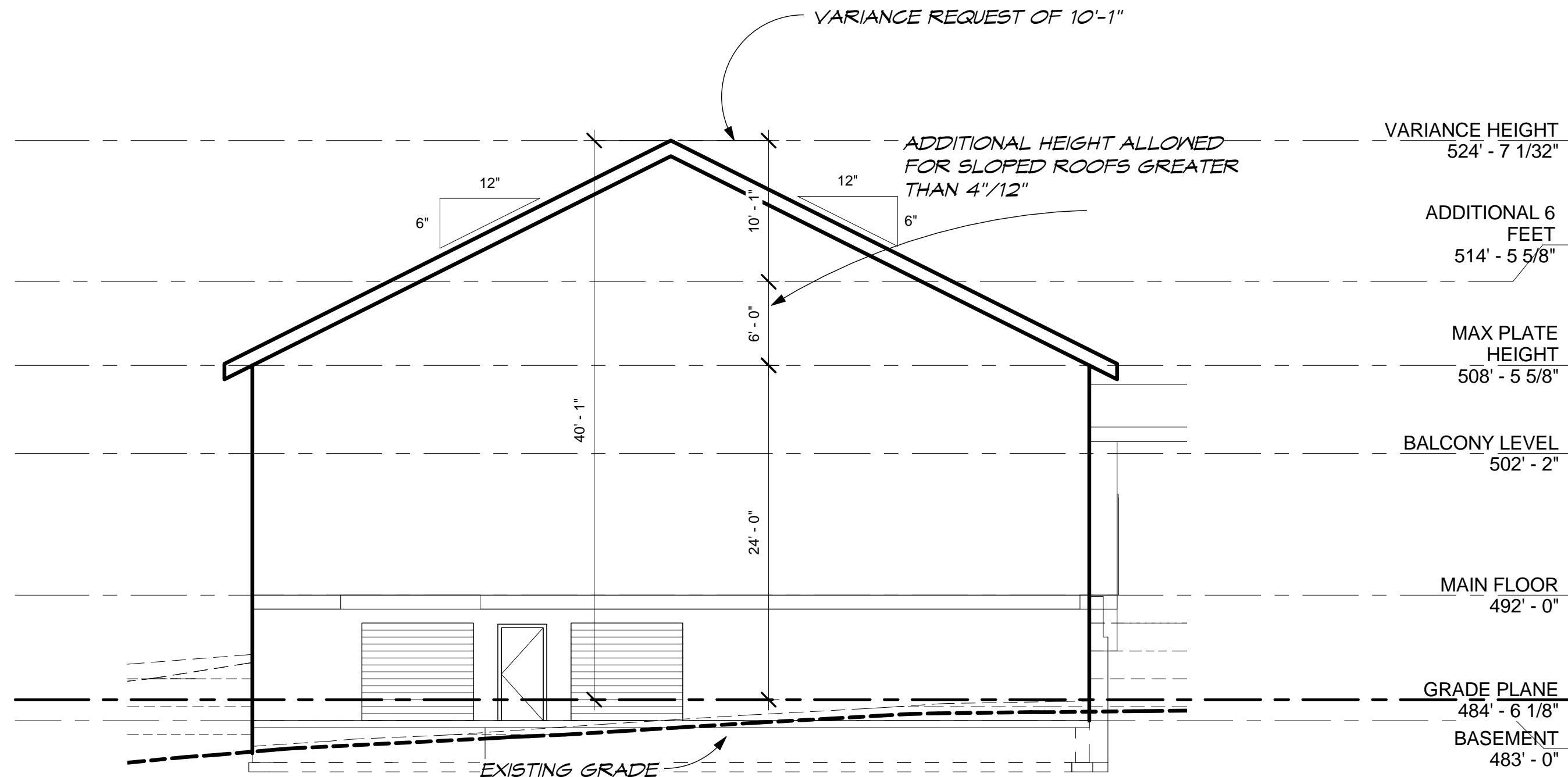
MAXIMUM WALL PLATE HEIGHT PER RMC4-2-110A: 24'-0"
ACTUAL WALL PLATE HEIGHT: 24'-0"

ROOF PITCH: 6:12

VERTICAL PROJECTIONS FROM WALL PLATES
(PER RMC4-2-110D CONDITION 1B) ALLOWS FOR
AN ADDITIONAL 6'-0" OF VERTICAL PROJECTION
FOR A ROOF WITH A PITCH EQUAL TO OR
GREATER THAN 4:12

VARIANCE REQUEST HEIGHT 10'-1"

GRADE PLANE PER RMC4-11-070 484.51'



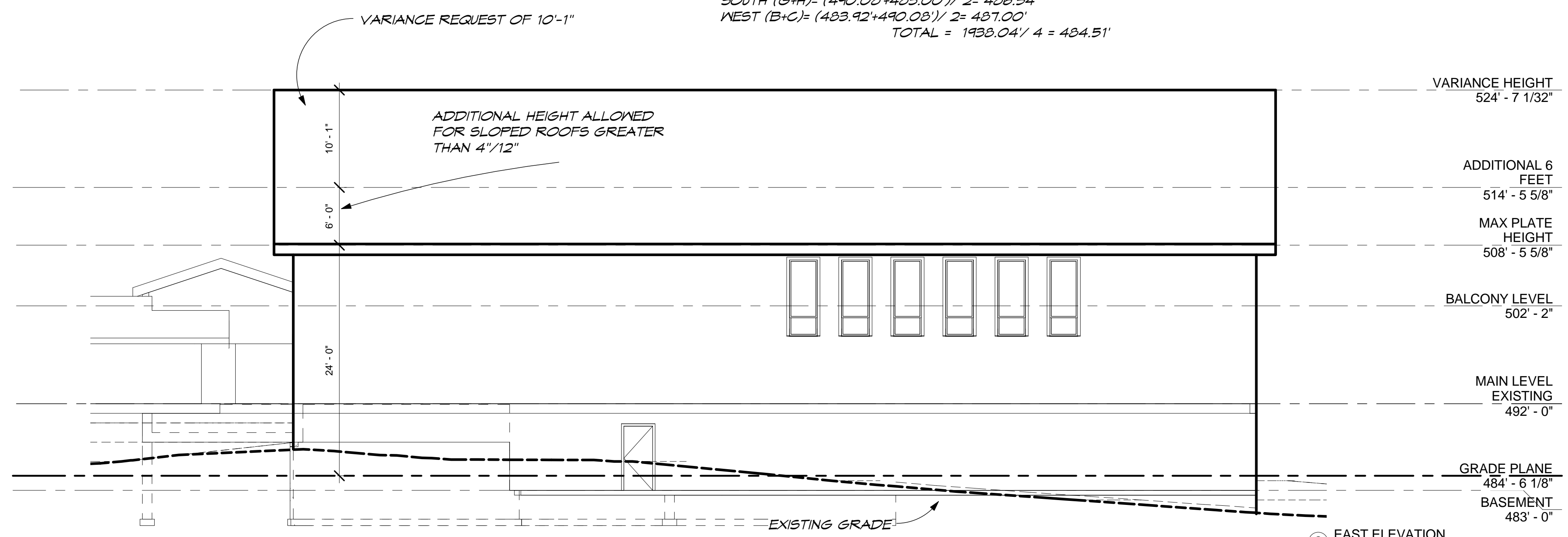
1 NORTH ELEVATION
1/8" = 1'-0"

GRADE PLANE CALCULATION

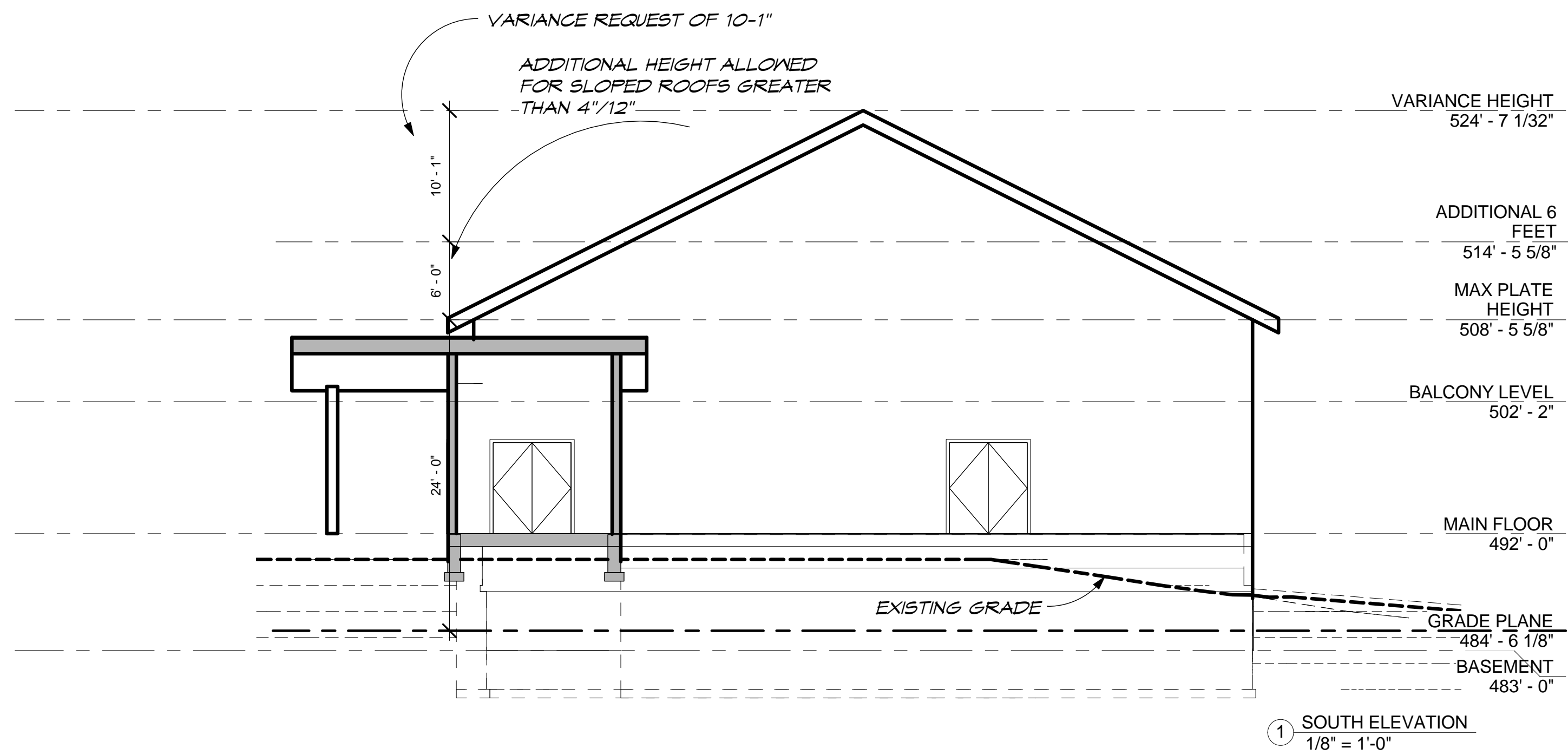
A = 480'-6" = 480.5'
B = 483'-11" = 483.92'
C = 490'-1" = 490.08'
D = 484'-1" = 484.08'

E = 483'-0" = 483.00'
F = 488'-5" = 488.42'
G = 490'-1" = 490.08'
H = 483'-0" = 483.00'

NORTH (A+B) = (480.5+483.92)/ 2 = 482.21'
EAST (A+D) = (480.5+484.08)/ 2 = 482.29'
SOUTH (G+H) = (490.08+483.00)/ 2 = 486.54'
WEST (B+C) = (483.92+490.08)/ 2 = 487.00'
TOTAL = 1938.04' / 4 = 484.51'



2 EAST ELEVATION
1/8" = 1'-0"

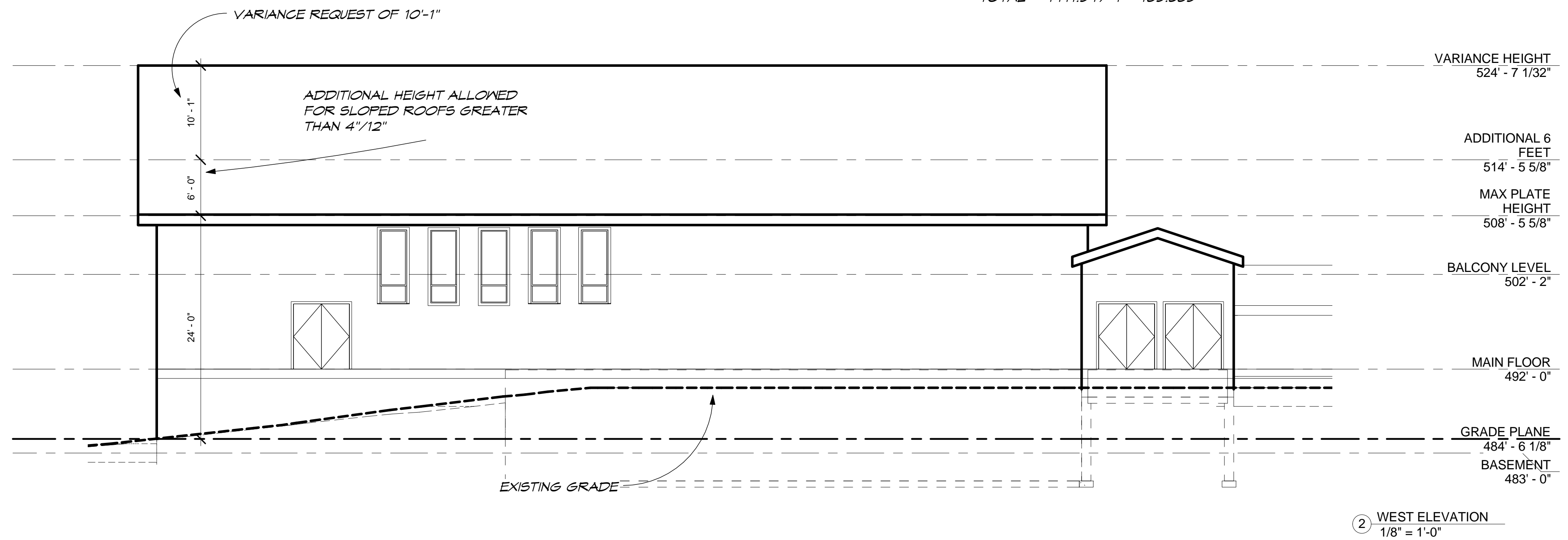


GRADE PLANE CALCULATION

A = 480'-6" = 480.5'
B = 483'-11" = 483.92'
C = 490'-1" = 490.08'
D = 484'-1" = 484.08'

E = 483'-0" = 483.00'
F = 488'-5" = 488.42'
G = 490'-1" = 490.08'
H = 483'-0" = 483.00'

NORTH (A+E) = (480.5+483.00)/ 2 = 481.75'
EAST (B+F) = (483.92+488.42)/ 2 = 486.17'
SOUTH (C+G) = (490.08+490.08)/ 2 = 490.08'
WEST (D+H) = (484.08+483.00)/ 2 = 483.54'
TOTAL = 1941.54'/ 4 = 485.385'



14013 11/17/2016 9:08:30 AM Author

20011 Ballinger Way NE
Office #211
Shoreline, WA 98155

GABBERT
Architects Planners

E: Marlin.G@gabbertarchitects.com

T: 206.367.3600

CEDAR RIDGE CHURCH

11411 SE 164TH ST RENTON, WA 98055
CEDAR RIDGE CHURCH

Revision Schedule		Revision Description	
Revision Number	Revision Date		

14013

SD
DRAWN BY: Author
DATE: Issue Date

OVERALL
BUILDING
ELEVATIONS
A5.1

ADVISORY NOTES TO APPLICANT
LUA16-000128



Application Date: February 18, 2016
Name: Cedar Ridge Church Expansion

Site Address: 11411 SE 164th St
Renton, WA 98055-5213

PLAN - Planning Review - Land Use

Version 1 | December 22, 2016

Engineering Review Comments

Contact: Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

Recommendations: DEPARTMENT OF COMMUNITY
AND ECONOMIC DEVELOPMENT

M E M O R A N D U M

DATE: December 21, 2016

TO: Jill Ding, Senior Planner

FROM: Ian Fitz James, Civil Plan Reviewer

SUBJECT: Utility and Transportation Comments for the Cedar Ridge Church Expansion 11411 SE 164th Street

LUA 16 000128

I have reviewed the application for the Cedar Ridge Church Expansion located at 11411 SE 164th Street and have the following comments:

EXISTING CONDITIONS

WATER: Water service is provided by Soos Creek Water and Sewer District. A water availability certificate was received by the City on February 18, 2016.

SEWER: Sewer service is provided by Soos Creek Water and Sewer District. A sewer availability certificate was received by the City on February 18, 2016.

STORM: There are two Threshold Discharge Areas (TDA) on site. Most of the northeastern portion of the site flows north to the southern frontage of 164th Street NE. This portion of the site is part of the Lower Cedar River drainage basin. The rest of the site flows south and is part of the Soos Creek drainage basin. There is a small northern portion of the site that is part of the Soos Creek drainage basin. Please see the description below.

The eastern driveway for 11417 SE 164th Street (parcel NE of church parcel), serves at the high point for the drainage along the southern frontage of SE 164th Street. From this high point, a ditch conveys stormwater west, under the western driveway for 11417 SE 164th Street, and then to the corner of SE 164th Street and 113th Avenue SE. Drainage conveyed west from this high point is part of the Soos Creek drainage basin.

Heading east from the high point, stormwater is conveyed by a 12" storm drain with type 1 catch basins. This storm drain conveys the majority of the drainage from the northeastern portion of the site. This drainage is part of the Lower Cedar River drainage basin. The piped conveyance drains to the public storm drain in 116th Avenue NE. At the second type 1 catch basin east of the driveway, COR Facility ID #137670, a private French drain from the south is intercepted. According to the property owner of 11417 SE 164th Street, the French drain runs through his property back to the church. Also according to the owner, the French drain has capacity issues and occasionally results in flooding of his yard and the yard of 11421 SE 164th Street. The City of Renton does not have any formal drainage complaints in this area.

Drainage from the southern portion of the site flows to existing wetlands. This portion of the site is part of the Soos Creek drainage basin.

STREETS: SE 164th Street adjacent to the site is classified as a residential access street. The existing right of way along SE 164th Street is approximately 60 feet. The width of the pavement is approximately 40 feet. There is no curb or sidewalk along the site frontage.

CODE REQUIREMENTS

WATER COMMENTS

1. Review of the water plans will be conducted by Soos Creek Water and Sewer District and the Renton Fire Authority.
2. Plans approved by Soos Creek Water and Sewer District shall be routed to the City for final review prior to permit issuance.

SEWER COMMENTS

1. Review of the sewer plans will be conducted by Soos Creek Water and Sewer District.
2. Plans approved by Soos Creek Water and Sewer District shall be routed to the City for final review prior to permit issuance.

STORM DRAINAGE COMMENTS

1. Effective January 1, 2017, the City of Renton will be adopting a new stormwater manual. A draft of the new stormwater manual is available on the City's website. All projects vested after January 1, 2017 will be subject to these new stormwater requirements. Please refer

PLAN - Planning Review - Land Use

Version 1 | December 22, 2016

Engineering Review Comments

Contact: Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

to RMC 4 1 045 for information regarding project vesting.

2. A complete drainage report in accordance with the 2017 City of Renton Surface Water Design Manual is required with the construction permit submittal. All core and special requirements to the City of Renton shall be addressed in the final TIR.

3. A Preliminary Technical Information Report (TIR) completed by Touma Engineers was submitted to the City on February 18, 2016. The Preliminary TIR was assembled in accordance with the 2009 King County Surface Water Design Manual as amended by the City of Renton. The site is approximately 2.55 acres in size and contains a church, gravel parking lot and driveway, grass, and trees. The site contains two Threshold Discharge Areas (TDAs) and is located in the City's Flow Control Duration Standard (Forested Conditions). One TDA is tributary to the Lower Cedar River and the other is to Soos Creek.

The original TIR was written to account for a two phase project. Phase 1 of the project was to build a new church building west of the existing church building and a new asphalt parking lot. Phase 2 of the project was to expand and remodel the existing church building. The new site plan has eliminated all of Phase 2, revised the new building design, and altered the parking lot design. The new parking lot is significantly smaller than what was proposed before and includes several grass parking stalls. A new TIR was not submitted with the new site plan. The original TIR proposed a wetvault to meet the northern basin's flow control and water quality requirements and a wetpond to meet the southern basin's flow control and water quality requirements.

The new site plan proposes two detention ponds to meet the flow control requirements. The final TIR should evaluate whether the southern detention pond is still necessary due to the reduced scope of work. The site is subject to the Enhanced Basic Water Quality treatment standards. The Enhanced Basic Water Quality treatment standards may be reduced to the Basic Water Quality Treatment standards provided that an exception in Section 1.2.8.1 of the 2017 Renton Surface Water Design Manual is met. A wetpond is not a permitted Enhanced Basic Water Quality treatment device.

On site BMPs satisfying Core Requirement #9 will be required for the site. On site BMPs shall be implemented as shown in Section C.1.3.2 of the 2017 Renton Surface Water Design Manual.

4. Locate and display the existing French drain that drains north from the project site to the Type 1 Catch Basin (COR Facility #137670) north of 11417 SE 164th Street on the drainage site plan. Show and explain how you plan to accommodate drainage from this French drain in the construction plans and final TIR.

5. A Geotechnical Report completed by Nelson Geotechnical Associates and dated September 25, 2015 was submitted to the City on February 18, 2016. Per the report, this site is unsuitable for large scale stormwater infiltration. Per the report, pervious pavement, bio swales, or rain gardens may be feasible in specific areas of the site.

An amendment to the geotechnical report shall be included to evaluate feasibility of the required On Site BMPs per Section C.1.3.2 of the 2017 Renton Surface Water Design Manual. See Section C.1.3 for the complete soils report requirements.

6. A Construction Stormwater General Permit from the Washington Department of Ecology will be required if clearing of the site exceeds one acre.

7. The development is subject to a system development charge (SDC) for stormwater of \$0.641 per square foot of new impervious surface area, but not less than \$1,608.00. The SDC listed is for 2017. The SDC that is current at the time of construction permit issuance will be levied.

TRANSPORTATION/STREET COMMENTS

1. The 2017 transportation impact fee rate for a church is \$2.68 per square foot of building. The transportation impact fee that is current at the time of building permit issuance will be levied.

2. Per RMC 4 6 060, right of way dedication and street frontage improvements are required for new construction or additions valued at over \$50,000.

SE 164th Street is classified as a residential access street. Per RMC 4 6 060, the minimum right of way width for a residential access street is 53'. The minimum paved roadway width is 26' consisting of 2 – 10' travel lanes and a 6' parking lane on one side of the street. A 0.5' curb, 8' planter, and 5' sidewalk are required along the frontage. Per the King County Assessor's Map, the existing right of way width for SE 164th Street is approximately 60'. No right of way dedication is required for SE 164th Street.

PLAN - Planning Review - Land Use

Version 1 | December 22, 2016

Engineering Review Comments

Contact: Ian Fitz-James | 425-430-7288 | ifitz-james@rentonwa.gov

Curb ramps per WSDOT and ADA standards shall be constructed as necessary to allow for pedestrian connectivity to the surrounding paved shoulders.

3. The new drive access / aisle and all roads used for fire access shall meet all standards put forth by the Renton Fire Authority.

4. A Traffic Impact Report completed by Christopher Faulkner and dated January 30, 2016 was submitted to the City on February 18, 2016. A Traffic Impact Analysis is required when estimated vehicular traffic from a proposed development exceeds 20 vehicles per hour in either the AM (6:00 – 9:00) or PM (3:00 – 6:00) peak periods of a weekday. The Engineer states that the proposed project does not meet either of these thresholds. Using the Church Land Use (No. 560) in the ITE Manual, it was confirmed that the Church will generate approximately 7 vehicles per hour in both the AM and PM peak weekday periods. Thus, a Traffic Impact Analysis is not required.

In addition, the Engineer met with the Church leadership and provided a list of times when the site will be used. The list is provided below.

- Sunday Morning worship service from 9:00 AM to 11:00 AM
- Wednesday Night Bible study starting at 6:30 PM
- Friday Night youth group from 7:00 PM to 9:00 PM

None of the above uses conflict with peak travel times defined by the City. The report also notes that a Church office does not currently exist and one is not proposed.

5. Per RMC 4 6 060, public street frontages along commercial sites with proposed buildings larger than 5,000 square feet in size are required to conform to the City's street lighting standards. A street lighting plan shall be submitted with the construction permit submittal.

6. Paving and trench restoration within the City of Renton right of way shall comply with the City's Street Restoration and Overlay requirements.

GENERAL COMMENTS

1. The SDCs listed are for 2017. The fees that are current at the time of the building permit application will be levied. Please see the City of Renton website for the current SDCs.

2. Retaining walls or rockeries that are 4' or taller from bottom of footing will require a separate building permit. Structural calculations and plans prepared by a licensed engineer will be required.

3. The survey and all civil plans shall conform to the current City of Renton survey and drafting standards. Current drafting standards can be found on the City of Renton website.

4. A final survey that is stamped and signed by the professional land surveyor of record will need to be provided. All existing utilities need to be surveyed and shown. Please reference COR Maps for mapping and records of existing utilities in the project vicinity.

5. A separate plan submittal will be required for a construction permit for utility work and street improvements. All plans shall be prepared by a licensed Civil Engineer in the State of Washington.

6. A final tree removal/retention plan and landscape plan shall be included with the civil plan submittal.

7. When construction plans are complete, please contact the City to schedule an intake meeting. Construction permit submittal includes three (3) copies of the plans, two (2) copies of the drainage report, an electronic copy of each, the permit application, an itemized construction estimate, and application fee to the counter on the sixth floor.

8. Separate permits and fees for side sewers and water services shall be obtained from Soos Creek Water and Sewer District.

Police Plan Review Comments

Contact: Cyndie Parks | 425-430-7521 | cparks@rentonwa.gov

Fire Review - Building Comments

Contact: Corey Thomas | 425-430-7024 | cthomas@rentonrfa.org

Recommendations: Environmental Impact Comments:

1. Fire impact fees are applicable at the rate of \$0.36 per square foot of commercial space. This fee is paid at time of building permit

PLAN - Planning Review - Land Use

Version 1 | December 22, 2016

Fire Review - Building Comments

Contact: Corey Thomas | 425-430-7024 | cthomas@rentonrfa.org

issuance.

Code Related Comments:

1. The preliminary fire flow is 1,750 gpm based on a fully fire sprinklered building. A minimum of one hydrant is required within 150 feet of the structure and one additional hydrant is required within 300 feet of the structure. One hydrant also is required within 50 feet of the fire department fire sprinkler connection. There appears to be one existing hydrant within 300 feet of the proposed building. An on site water main extension is required to provide adequate fire flow, one new hydrant and an adequately sized main to supply the required fire sprinkler system. An updated water availability certificate is required from Soos Creek Water and Sewer District that can demonstrate that 1,750 gpm is available at this location.
2. Approved fire sprinkler and fire alarm systems are required throughout the building. Separate plans and permits required by the fire department. Direct outside access is required to the fire sprinkler riser room. Fully addressable and full detection is required for the fire alarm system. The use of a voice type fire alarm system would be required for full time private school occupancy.
3. Fire department apparatus access roadways are required within 150 feet of all points on the building. Fire lane signage required for the on site roadway. Required turning radius are 25 feet inside and 45 feet outside. Roadways shall be a minimum of 20 feet wide. Roadways shall be fully paved and support a minimum of a 30 ton vehicle and 75 psi point loading.
4. An electronic site plan is required prior to occupancy for pre fire planning purposes.
5. An annual place of assembly permit is required through the fire department.
6. An automated external defibrillator is required if the final occupant load is over 300 persons.
7. Separate plans and permits shall be submitted to the Renton Fire Department for kitchen hood fire suppression systems.

Transportation Engineering Review Comments

Contact: Brianne Bannwarth | 425-430-7299 | bbannwarth@rentonwa.gov

Recommendations: Traffic Concurrency Test passed. See documents folder for report.

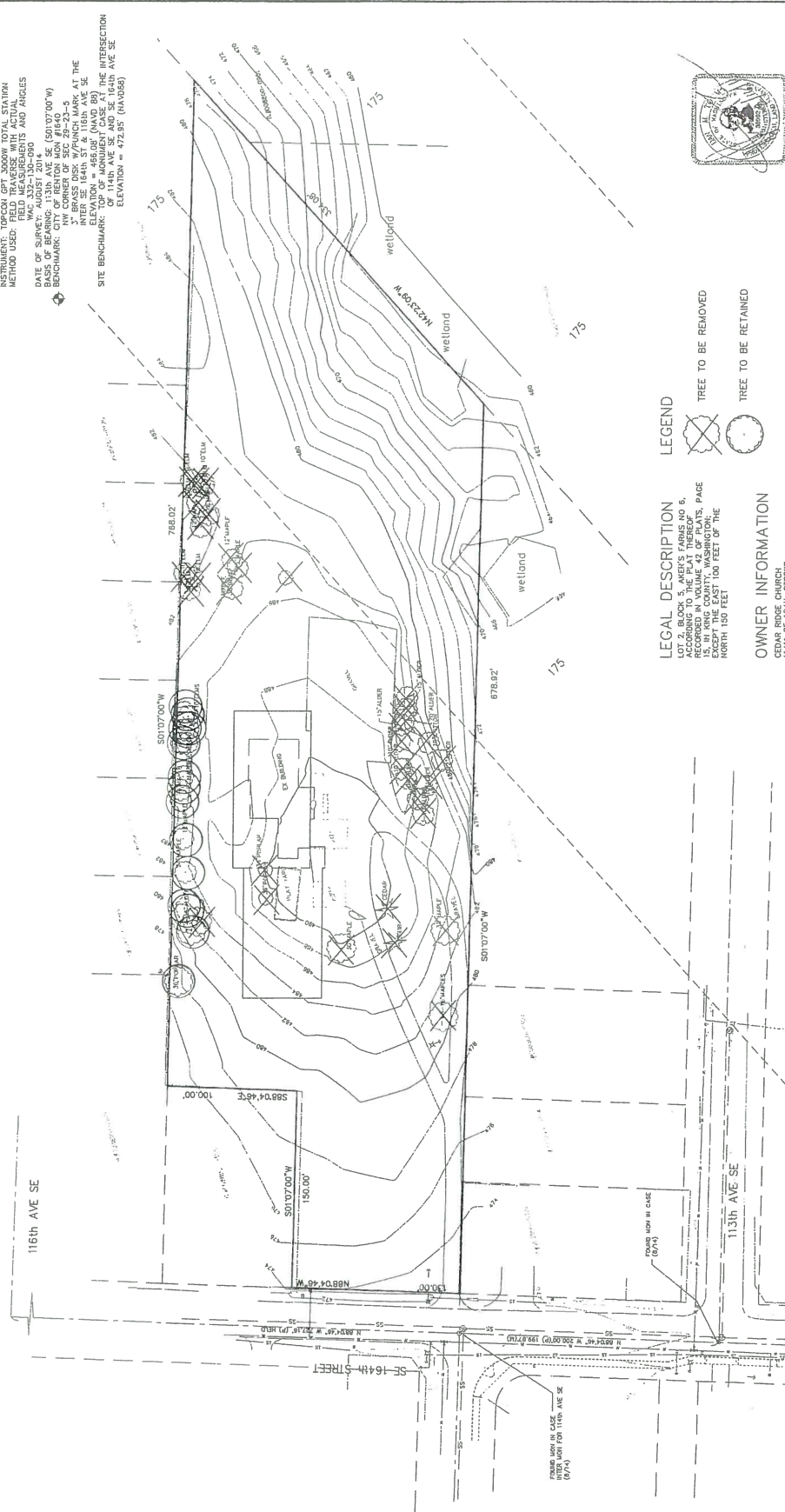
THE PORTION OF THE SE 1/4 OF THE NE 1/4 OF
SECTION 29, TOWNSHIP 23 NORTH, RANGE 5 EAST, W.M.
CITY OF RENTON, STATE OF WASHINGTON

GRAPHIC SCALE



SURVEY NOTES

INSTRUMENT: TOPCON DPT 3000W TOTAL STATION
METHODS USED: FIELD MEASUREMENTS AND ANGLES
DATE OF SURVEY: AUGUST 30, 2010
BASIS OF BEARING: 113th AVE SE (S01°07'00"W)
BENCHMARK: COW POINT BENCH MARK AT THE
NEW CORNER OF SEC 29-23-5
ELEVATION = 485.02 (NAVD 83)
SITE BENCHMARK: TOP OF MONUMENT CASE AT THE INTERSECTION
OF 116th AVE SE AND 114th STREET
ELEVATION = 472.95 (NAVD83)



LEGAL DESCRIPTION
LOT 2, BLOCK 5, LEXUS FURNISHING CO. B,
ACCORDING TO THE PLAT THEREOF,
RECORDED IN THE PUBLIC RECORDS OF KING COUNTY, WASHINGTON, PAGE
15, IN KING COUNTY, WASHINGTON, EXCEPT THE EAST 100 FEET OF THE
NORTH 150 FEET

OWNER INFORMATION
CEDAR RIDGE CHURCH
11411 SE 114th STREET
RENTON WA 98055

SURVEYOR INFORMATION
TOMA ENGINEERING AND LAND
SURVEYORS, PLLC
255 SW 41st STREET
RENTON WA 98055
OFFICE: 425-251-0865
CONTACT: DAN TOMA
EMAIL: tomasurveying@gmail.com

LEGEND
X TREE TO BE REMOVED
O TREE TO BE RETAINED

TREE

NO.	REVISION	BY	DATE	APPROV.	DATE
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					

M E M O R A N D U M

DATE: December 22, 2016

TO: Jill Ding, Senior Planner

FROM: Brianne Bannwarth, Development Engineering Manager

SUBJECT: **Traffic Concurrency Test – Cedar River Church Expansion;
File No. LUA16-000128**

The applicant is requesting Hearing Examiner Conditional Use Permit, Environmental (SEPA) Review, and a Height Variance for a proposed addition to the Cedar Ridge Church. The proposed addition would include a 3,237 square foot basement, 6,210 square foot main floor, and 2,733 square foot balcony for a total area of 12,180 square feet. The proposal would increase the existing total seating capacity within the church to 301. The existing original 2,540 square foot church building would remain and would be converted to classroom and fellowship hall space. The project site totals 168,630 square feet (3.87 acres) and is zoned Residential-8 (R-8). The proposed project includes the addition of 20 parking spaces, resulting in a total of 60 parking spaces on site. Access to the site would remain off of SE 164th Street via one curb cut. A SEPA Determination of Non-Significance was issued on March 21, 2016.

The proposed development would generate a reduction in approximately 111 net new average weekday daily trips. During the weekday AM peak hour, the project would generate approximately 7 net new trips (4 inbound and 3 outbound). During the weekday PM peak hour, the project would generate a reduction of approximately 7 net new trips (4 inbound and 3 outbound). The proposed project passes the City of Renton Traffic Concurrency Test per RMC 4-6-070.D as follows:

Traffic Concurrency Test Criteria	Pass
Implementation of citywide Transportation Plan	Yes
Within allowed growth levels	Yes
Project subject to transportation mitigation or impact fees	Yes
Site specific street improvements to be completed by project	Yes
Traffic Concurrency Test Passes	

Evaluation of Test Criteria

Implementation of citywide Transportation Plan: As shown on the attached citywide traffic concurrency summary, the city’s investment in completion of the forecast traffic improvements are at 130% of the scheduled expenditure through 2016.

Within allowed growth levels: As shown on the attached citywide traffic concurrency summary, the calculated citywide trip capacity for concurrency with the city adopted model for 2016 is 79,353 trips, which provides sufficient capacity to accommodate the reduction of 111 trips from this project. A resulting 79,242 trips are remaining.

Project subject to transportation mitigation or impact fees: The project will be subject to transportation impact fees at time of building permit for the project.

Site specific street improvements to be completed by project: The project will be required to complete all internal and frontage street improvements for the building prior to occupancy. Any additional off-site improvements identified through SEPA or land use approval will also be completed prior to final occupancy.

Background Information on Traffic Concurrency Test for Renton

The City of Renton Traffic Concurrency requirements for proposed development projects are covered under Renton Municipal Code (RMC) 4-6-070. The specific concurrency test requirement is covered in RMC 4-6-070.D, which is listed for reference:

D. CONCURRENCY REVIEW PROCESS:

1. Test Required: A concurrency test shall be conducted by the Department for each nonexempt development activity. The concurrency test shall determine consistency with the adopted Citywide Level of Service Index and Concurrency Management System established in the Transportation Element of the Renton Comprehensive Plan, according to rules and procedures established by the Department. The Department shall issue an initial concurrency test result describing the outcome of the concurrency test.

2. Written Finding Required: *Prior to approval of any nonexempt development activity permit application, a written finding of concurrency shall be made by the City as part of the development permit approval. The finding of concurrency shall be made by the decision maker with the authority to approve the accompanying development permits required for a development activity. A written finding of concurrency shall apply only to the specific land uses, densities, intensities, and development project described in the application and development permit.*

3. Failure of Test: *If no reconsideration is requested, or if upon reconsideration a project fails the concurrency test, the project application shall be denied by the decision maker with the authority to approve the accompanying development activity permit application.*

The Concurrency Management System established in the Transportation Element on page XI-65 of the Comprehensive Plan states the following:

Based upon the test of the citywide Transportation Plan, consideration of growth levels included in the LOS-tested Transportation Plan, payment of a Transportation Mitigation Fee, and an application of site specific mitigation, development will have met City of Renton concurrency requirements.

ENVIRONMENTAL (SEPA) DETERMINATION OF NON-SIGNIFICANCE (DNS)

PROJECT NUMBER: LUA16-000128, ECF, CU-P

APPLICANT: David Pagel, Gabbert Architects Planners

PROJECT NAME: Cedar Ridge Church Expansion

PROJECT DESCRIPTION: The applicant is requesting Hearing Examiner Conditional Use Permit approval for the proposed addition to the Cedar Ridge Church. The proposed addition would occur in two phases. Phase 1 would include the addition of 8,908 square foot sanctuary to the existing church building and would increase the existing total seating capacity within the church to 301. The existing original 2,540 square foot church building would remain as part of this phase and would be converted to classroom and fellowship hall space. In Phase 2 the existing original 2,540 square foot church building would be demolished and replaced with a 6,879 square foot addition which would include a kitchen, fellowship hall, and additional meeting and classrooms. The project site totals 168,630 square feet (3.87 acres) and is zoned Residential-8 (R-8). The proposed project includes the addition of 55 parking spaces by the end of phase 2, resulting in a total of 95 parking spaces on site. A total of 61 spaces would be available after the completion of phase 1. Access to the site would remain off of SE 164th Street via one curb cut. A sensitive slope (grade between 25 and 40 percent) and two Category 3 wetlands have been identified on the project site (Wetlands A and B). Wetland A would have a standard buffer of 100 feet and Wetland B would have a standard buffer of 75 feet. Wetland buffer averaging is proposed to accommodate the proposed church expansion.

PROJECT LOCATION: 11411 SE 164th Street (Parcel No. 008800-0320)

LEAD AGENCY: City of Renton
Environmental Review Committee
Department of Community & Economic Development

The City of Renton Environmental Review Committee has determined that it does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This Determination of Non-Significance is issued under WAC 197-11-340. Because other agencies of jurisdiction may be involved, the lead agency will not act on this proposal for fourteen (14) days.

Appeals of the environmental determination must be filed in writing on or before 5:00 p.m. on April 8, 2016. Appeals must be filed in writing together with the required fee with: Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Appeals to the Examiner are governed by RMC 4-8-110 and more information may be obtained from the Renton City Clerk's Office, (425) 430-6510.

DEPARTMENT OF COMMUNITY
AND ECONOMIC DEVELOPMENT



PUBLICATION DATE:

March 25, 2016

DATE OF DECISION:

March 21, 2016

SIGNATURES:



Gregg Zimmerman, Administrator
Public Works Department


3/18/16

Date

Mark Peterson, Administrator
Fire & Emergency Services

3/21/16

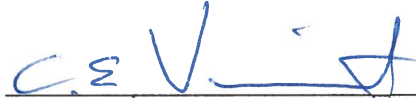
Date



Kelly Beymer, Administrator
Community Services Department

3/18/16

Date



C.E. "Chip" Vincent, Administrator
Department of Community &
Economic Development

03-21-16

Date

Google Maps 10997 SE 168th St



Image capture: Aug 2014 © 2016 Google

Renton, Washington

Street View - Aug 2014

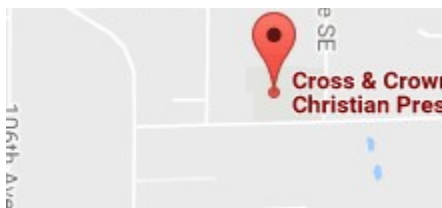
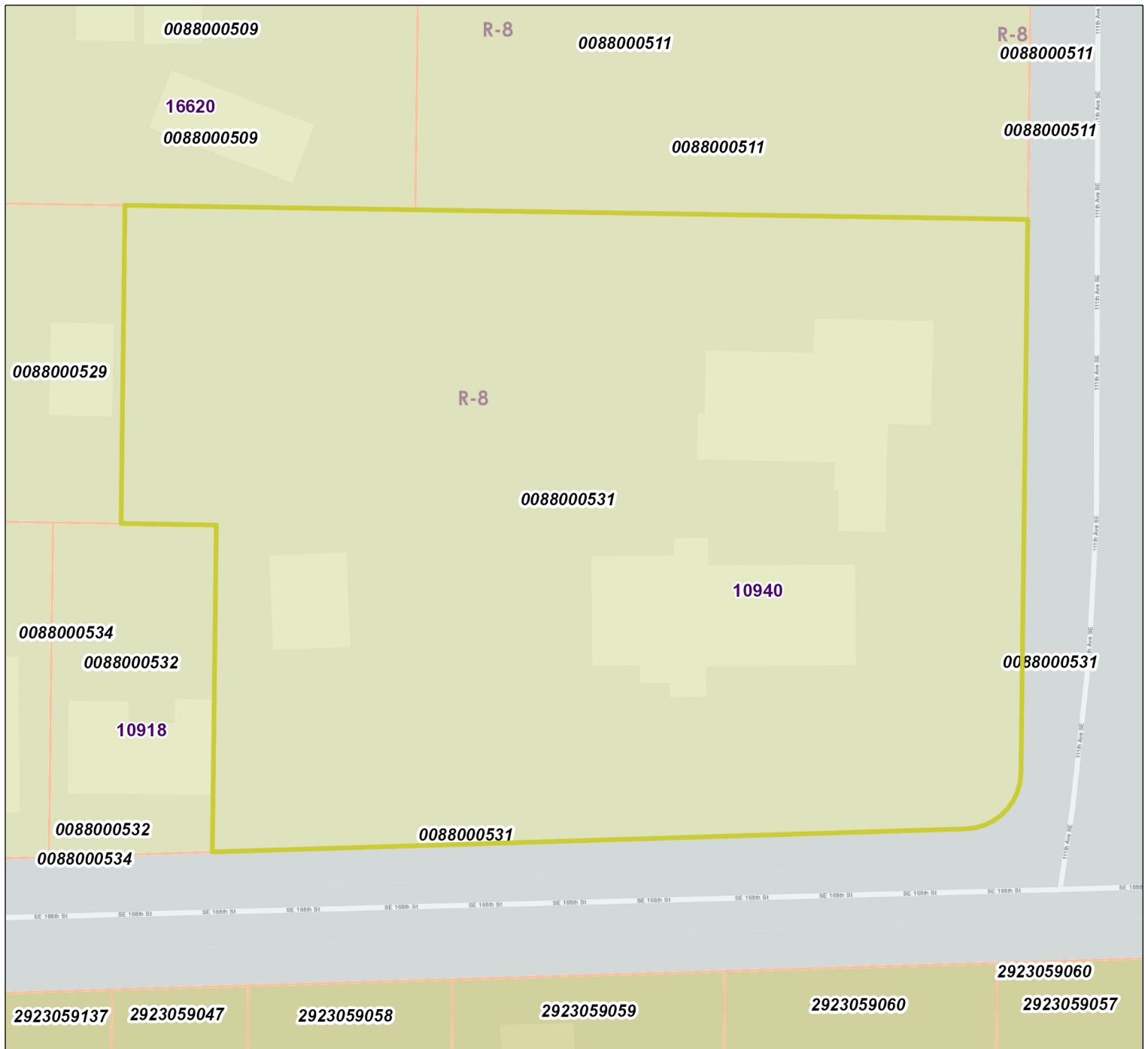


Exhibit
19

City of Renton Print map Template



Notes

Cross and Crown Lutheran Church and Preschool
Sanctuary Ridge: 30'
Bell Tower: 45'



64 0 32 64 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere

Legend

City and County Boundary

Other

City of Renton

Addresses

Parcels

Zoning

RC-Resource Conservation

R1-Residential 1 du/ac

R4-Residential 4 du/ac

R6-Residential - 6 DU/AC

RMF-Residential Multi-Family

RMH-Residential Manufactured Homes

CN-Commercial Neighborhood

CV-Center Village

CA-Commercial Arterial

UC-Urban Center

CD-Center Downtown

COR-Commercial Office/Residential

CO-Commercial Office

IL-Industrial - Light

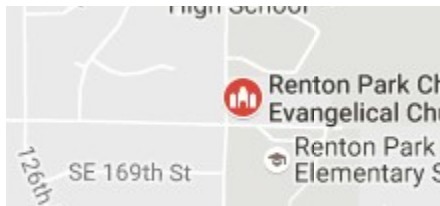
Google Maps 16845 128th Ave SE



Image capture: Jul 2015 © 2016 Google

Renton, Washington

Street View - Jul 2015



City of Renton Print map Template



Notes

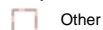
Renton Park Elementary School
Roof Peak 42'-45'



WGS_1984_Web_Mercator_Auxiliary_Sphere

Legend	
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City and County Boundary



City of Renton

Addresses



Zoning

- RC-Resource Conservation
- R1-Residential 1 du/ac
- R4-Residential 4 du/ac
- R6-Residential - 6 DU/AC

- RMF-Residential Multi-Family
- RMH-Residential Manufactured Homes
- CN-Commercial Neighborhood
- CV-Center Village
- CA-Commercial Arterial
- UC-Urban Center
- CD-Center Downtown
- COR-Commercial Office/Residential
- CO-Commercial Office
- IL-Industrial - Light

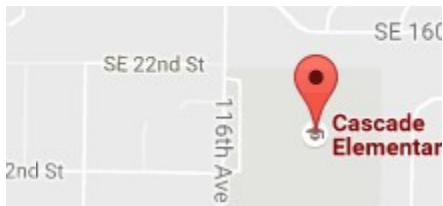
Google Maps 16183 Edmonds Ave SE



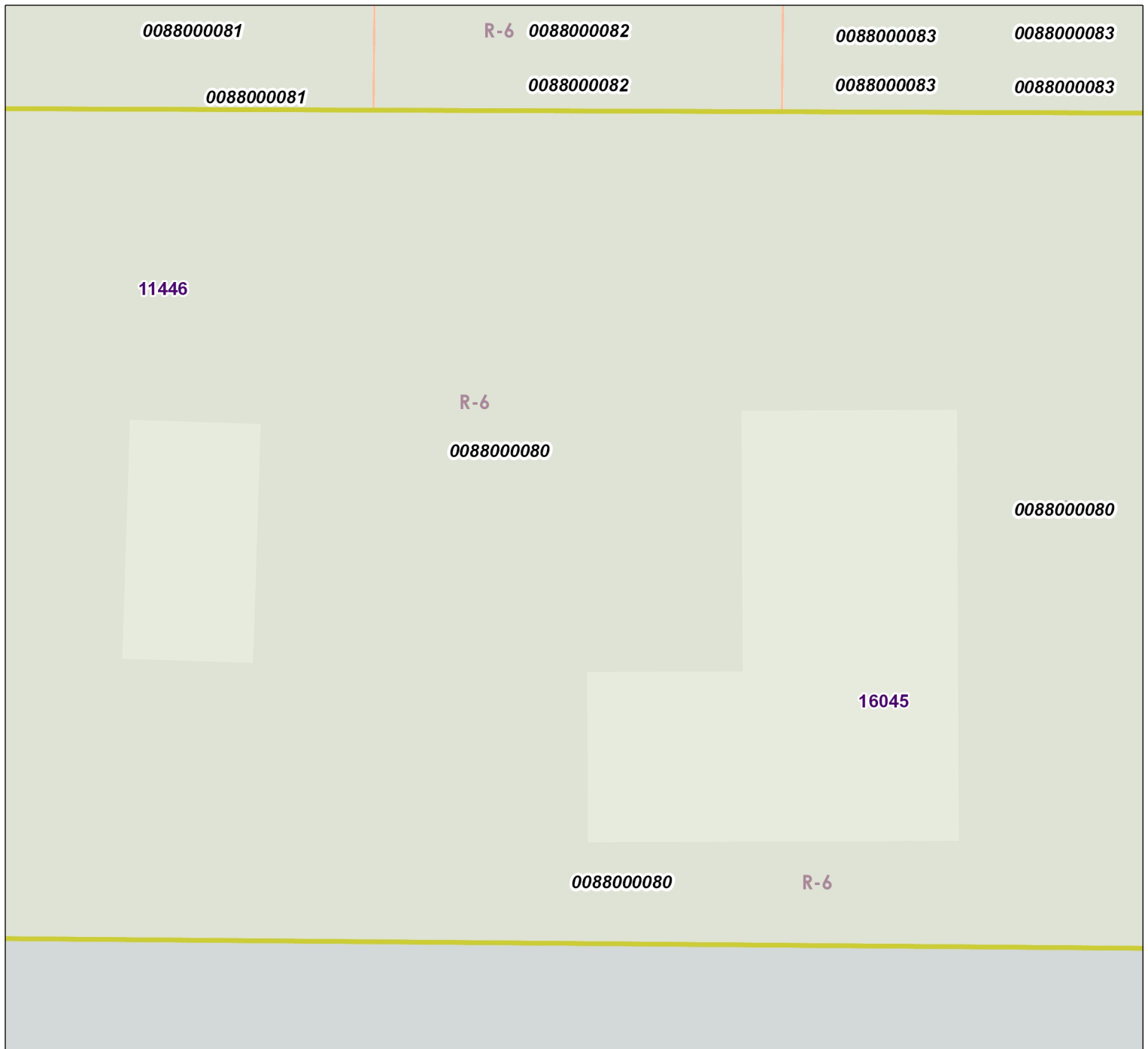
Image capture: Aug 2014 © 2016 Google

Renton, Washington

Street View - Aug 2014



City of Renton Print map Template



Notes

Renton Church of God
Ridge 35'



32 0 16 32 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere

Legend

City and County Boundary

- Other
- City of Renton

Addresses

- Parcels

Zoning

- RC-Resource Conservation
- R1-Residential 1 du/ac
- R4-Residential 4 du/ac
- R6-Residential - 6 DU/AC

- RMF-Residential Multi-Family
- RMH-Residential Manufactured Homes
- CN-Commercial Neighborhood
- CV-Center Village
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- CD-Center Downtown
- COR-Commercial Office/Residential
- CO-Commercial Office
- IL-Industrial - Light